



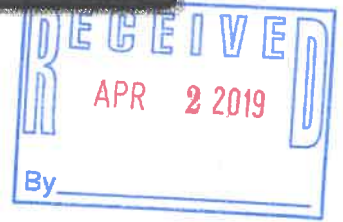
PALMER CT

N 3RD ST

SUBJECT SITE

E LINCOLN HWY

S 3RD ST



SPECIAL USE PERMIT PETITION

TO: City Council, City Clerk, and Mayor of the City of DeKalb, Illinois

FROM: Petitioner Name(s): MT NEST LLC Telephone:
Petitioner's Representative: THOMAS SCHMIOT Cell: 630 973 9182
Mailing Address: 653 LIMESTONE DR BATAVIA, IL 60510 Email: HometownSportsBar@gmail.com

Property Owner: THOMAS SCHMIOT Telephone:
Mailing Address: 653 LIMESTONE BATAVIA, IL 60510 Cell: 630 973 9182
Email: HometownSportsBar@gmail.com

1. The petitioner hereby petitions the City of DeKalb to approve a Special Use Permit for the following property:

A. Legal Description and Parcel Number(s) - If necessary, attach the full legal description on a separate piece of paper: 0823159043 AND 0823159037

B. Street Address or Common Location: 241 # 249 E Lincoln Hwy

C. Size (square feet or acres):

D. Existing Zoning District: "CBD"

E. Proposed Special Use: Outdoor Patio/Deck

F. Proposed Use and Description: On a separate piece of paper, describe the proposed use's characteristics such as operating hours, number of employees, capacity of facility, etc. Also, indicate whether or not the proposed use would: a) be in conformance with City's Comprehensive Plan and how the proposed use may; b) impact adjacent existing and future land uses; c) impact adjacent property values; d) impact the general public's health, safety, and welfare; and e) in conformance with all elements of the "UDO," Unified Development Ordinance.

2. The petitioner hereby submits the following information:

- Vicinity map of the area proposed for the special use
- List of current owner and mailing addresses of all property within 250 feet (exclusive of right-of-way) of the property proposed to be rezoned

Petition fee (\$500.00)

6 full size copies and an electronic copy on a disk of a site plan, which must show the following items:

- Property dimensions
- Location and use of proposed structure
- Number and location of parking spaces and loading area
- Location and type of landscaping (including existing trees 6" in diameter or greater and existing tree masses)
- Location, type, and height of fencing or walls
- Location and width of driveways and curb cuts; internal traffic patterns
- Floor area (square footage)
- Location of exterior lighting
- Location, type, and height of signage
- Direction of storm water flow, location of detention area

(Note to Petitioner: A site plan for a special use permit is intended to be a schematic plan only. All plans must eventually conform to other City standards prior to the issuance of any building permits or other permits.)

3. The petitioner hereby states that a pre-application conference *was was not held with City staff prior to the submittal of this petition.

*Date of pre-application conference: 3/28/2019
Those in attendance: _____

***(Note to Petitioner: A pre-application conference with staff is highly encouraged to avoid delays and help in the timely processing of this petition.)**

4. The petitioner hereby agrees that this petition will be placed on the Planning and Zoning Commission's agenda only if it is completed in full and submitted in advance of established deadlines.

5. The petitioner has read and completed all of the above information and affirms that it is true and correct.

6. Petitioner/property owner(s) hereby give the City of DeKalb permission to post a public notice sign(s) on the subject property.



Petitioner Signature

4-1-19

Date

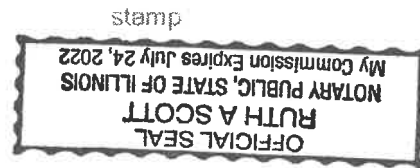
Petitioner Signature

Date


Subscribed and sworn to before me
this 1st day of April, 2019.



Notary Public Signature



I hereby affirm that I am the legal owner (or authorized agent or representative of the owner – proof attached) of the subject property and authorize the petitioner to pursue this Special Use Permit petition as described above (petitioner must sign if s/he is the owner).



Property Owner Signature

4-1-19

Date

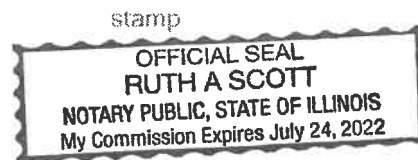
Property Owner Signature

Date

Subscribed and sworn to before me
this 1st day of April, 2019.



Notary Public Signature

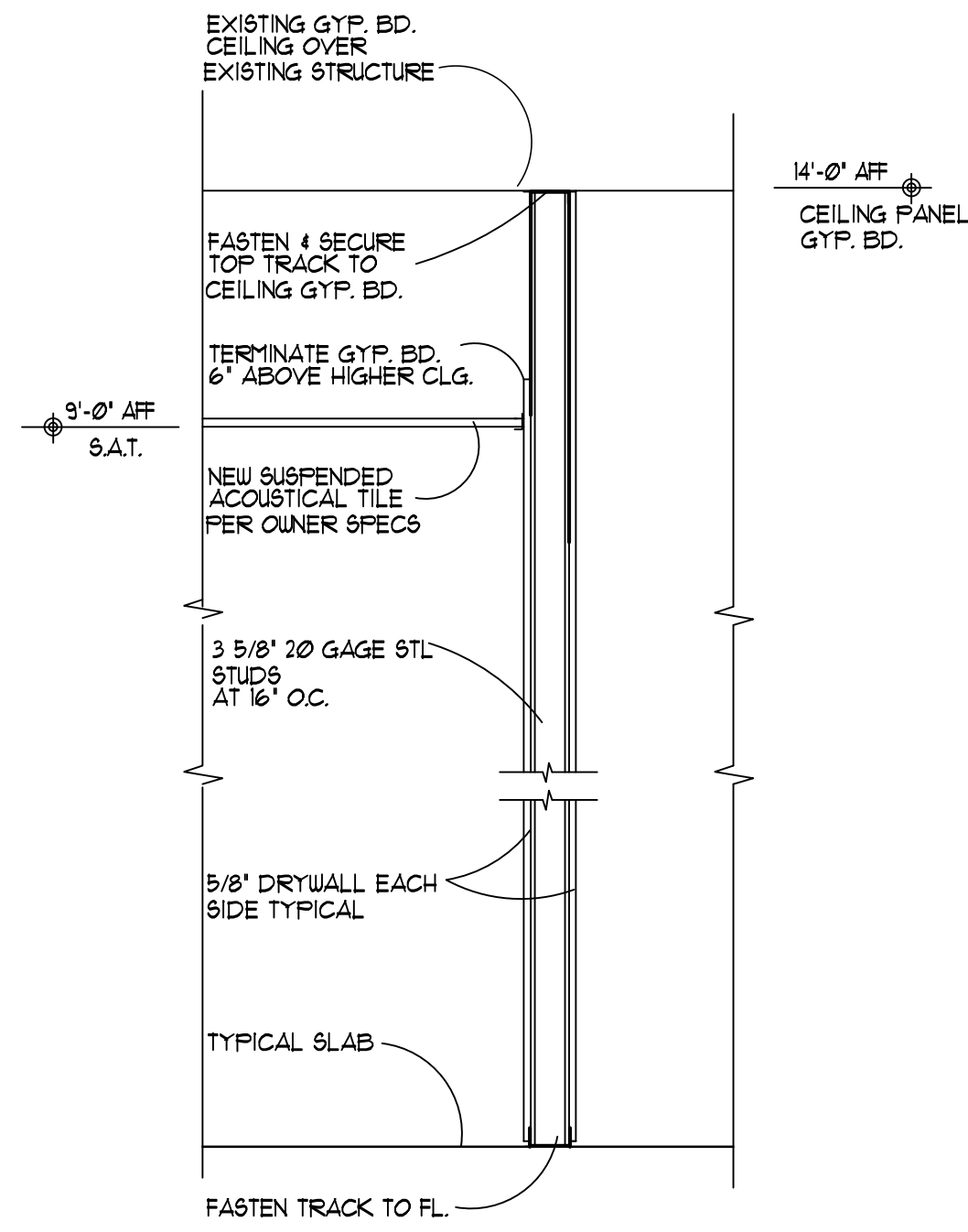


Hometown expansion area approximately 2100 square feet which is located at 249 E. Lincoln Hwy. will be an extension of Hometown Bar & Grill with a greater emphasis on live entertainment, which is the purpose for calling the area "Stage Left" presented by Hometown. The expansion area will consist of new ADA Men's and Women's bath rooms. A small bar area with an open air feel because of the coil door at the front of the building. This area will be a multi-use for entertainment on weekends or as needed and sitting area for dinner or cocktails when entertainment is not booked. At the rear of the building directly out the back door will be a Deck/Patio approximately 480 square feet in size which will add to the open air concept and seat roughly 16 to 20 people comfortably. The deck will be nestled between two buildings (Hometown and the Thai Pavilion to the east) and is resist in away from a very lite traffic area of Palmer court and debutantes beauty school. There are two existing apartments above 249. There are no apartments directly over the planned deck area and the one apartment near the back of 249 is resist in approximately another 25 feet from the back edge of the building and proposed deck area. Hours of operation will be the same as Hometown with the exception of the physical bar on the Stage Left side offering service later on certain nights to accommodate business. The expansion however will be open for patrons to utilize the space.

Any Question please feel free to contact me.

Sincerely, Tom Schmidt

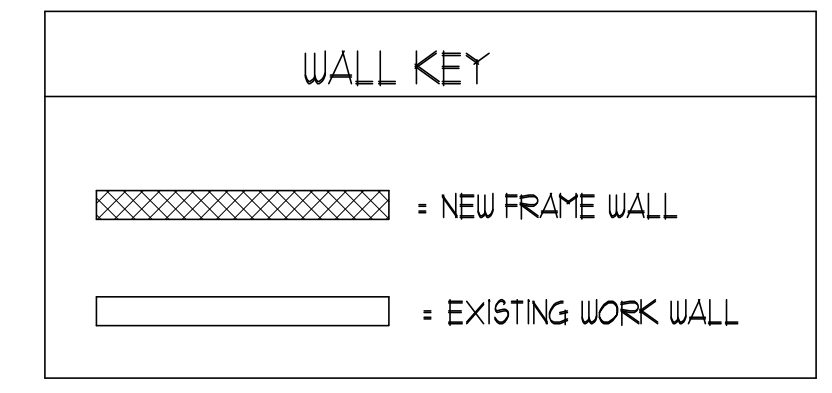
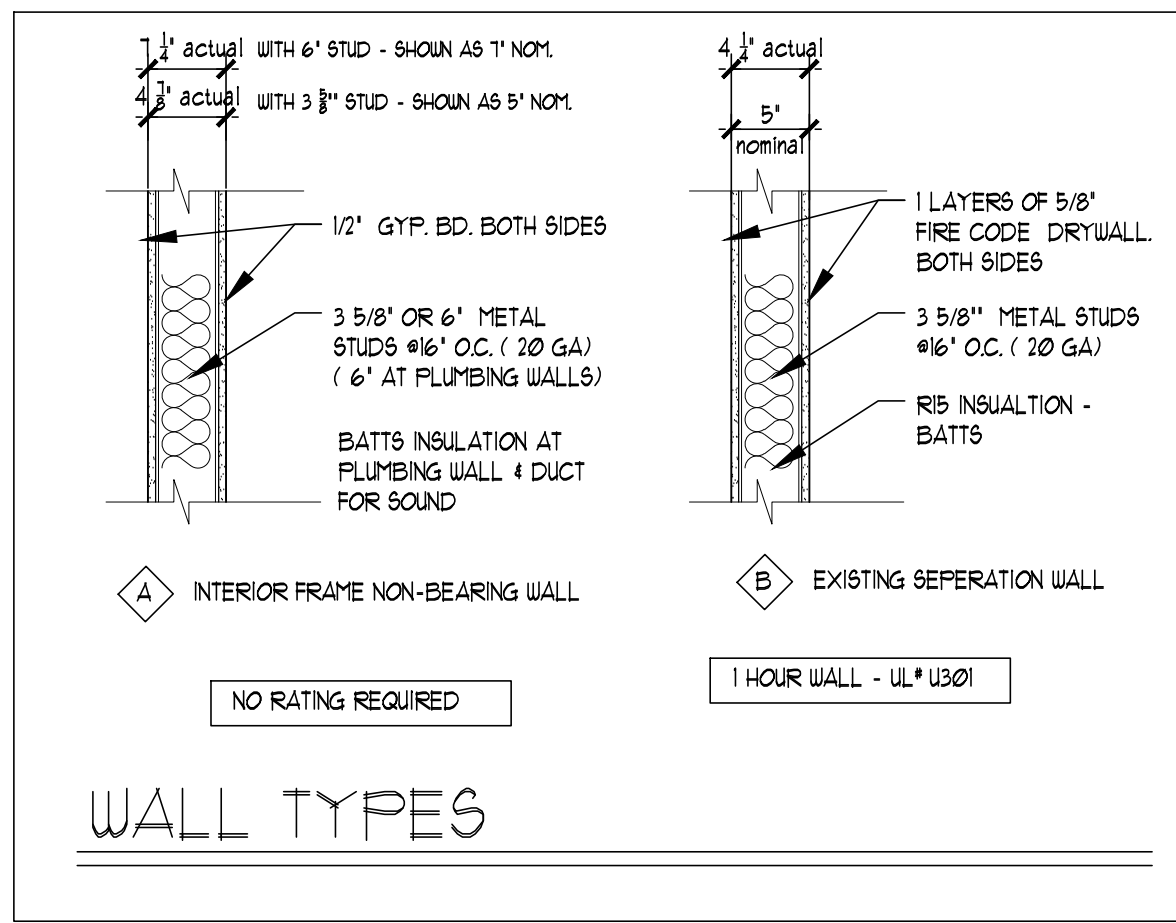
Hometown Sports Bar & Grill



2 WALL SECTION AT TYPICAL INTERIOR WALL
Scale: 1/2" = 1'-0"

DOOR SCHEDULE						
NUM	SIZE	MATERIAL	FRAME	TYPE	HARDWARE	REMARKS
100	10'-0" x 8'-0" HIGH OVERHEAD	STEEL	STEEL	---	DOOR MFG	AT STOREFRONT - NEW EXTERIOR OPERABLE DOOR SEE T1 FOR REQUIREMENTS OF IECC SECTION C402.4
101	3'-0" x 7'-0"	ALUM.	ALUM.	A	DOOR MFG	AT STOREFRONT - EXIT ONLY - NOT AN ENTRANCE SIGNAGE SEE T1 FOR REQUIREMENTS OF IECC SECTION C402.4
102	3'-0" x 6'-8" FULL GLASS	WD	WD	B	SET 1	
104	3'-0" x 6'-8"	WD	WD	B	SET 2	ACCESSIBLE & MEN TOILET SIGNAGE
106	3'-0" x 6'-8"	WD	WD	B	SET 2	ACCESSIBLE & WOMEN TOILET SIGNAGE
107	2'-6" x 6'-8"	WD	WD	B	SET 3	

DOOR TYPES	HARDWARE SETS	DOOR NOTES
A ALUM. STOREFRONT	SET 1 3 HINGES 1 PASSAGE LOCKSET 1 WALL STOP 1 CLOSER	NOTE: -ALL INTERIOR DOORS TO BE WOOD & PAINT OR STAIN GRADE -ALL LOCKS/LATCHES TO BE LEVER TYPE. LOCKING AS SPECIFIED PER HARDWARE SETS ABOVE -ALL LOCKSETS TO BE "SCHALGE" SERIES EXTRA HEAVY DUTY (HD) COMMERCIAL GRADE ABBREVIATIONS: -WD = WOOD (STAIN GRADE) -ALUM. = ALUMINUM -HM. = HOLLOW METAL -ALL DOOR CLOSERS SHALL COMPLY W/ ANSI SECTIONS 4.13.10 & 4.13.11 AND ADA SECTIONS 4.13.10 & 4.13.11 -ALL LOCKS AND LATCHES SHALL BE LEVER TYPE ALL DOOR CONTROLS SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR THRESHOLDS SHALL COMPLY W/ ANSI 4.13.8 -REFER TO ADJACENT FOR STANDARD MOUNTING HEIGHTS OF HARDWARE AND SIGNAGE -PROVIDE THE BOTTOM 10" OF DOOR WITH A SMOOTH SURFACE TO ALLOW DOORS TO BE OPENED WITH FORCE OF THE WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR A HAZARDOUS CONDITION
B WOOD FRENCH DOOR (SUITE DOOR)	SET 2 3 HINGES 1 PUSH/PULL 1 WALL STOP	
C WOOD PANEL DOOR STYLE PER TENANT	SET 3 3 HINGES 1 PASSAGE LOCKSET 1 WALL STOP	



LINTEL AT NEW MASONRY OPENINGS	
LI	L 6' x 6' x 3/8"
	EACH SIDE OF BUILDING WALL

LINTEL LI CALCULATIONS

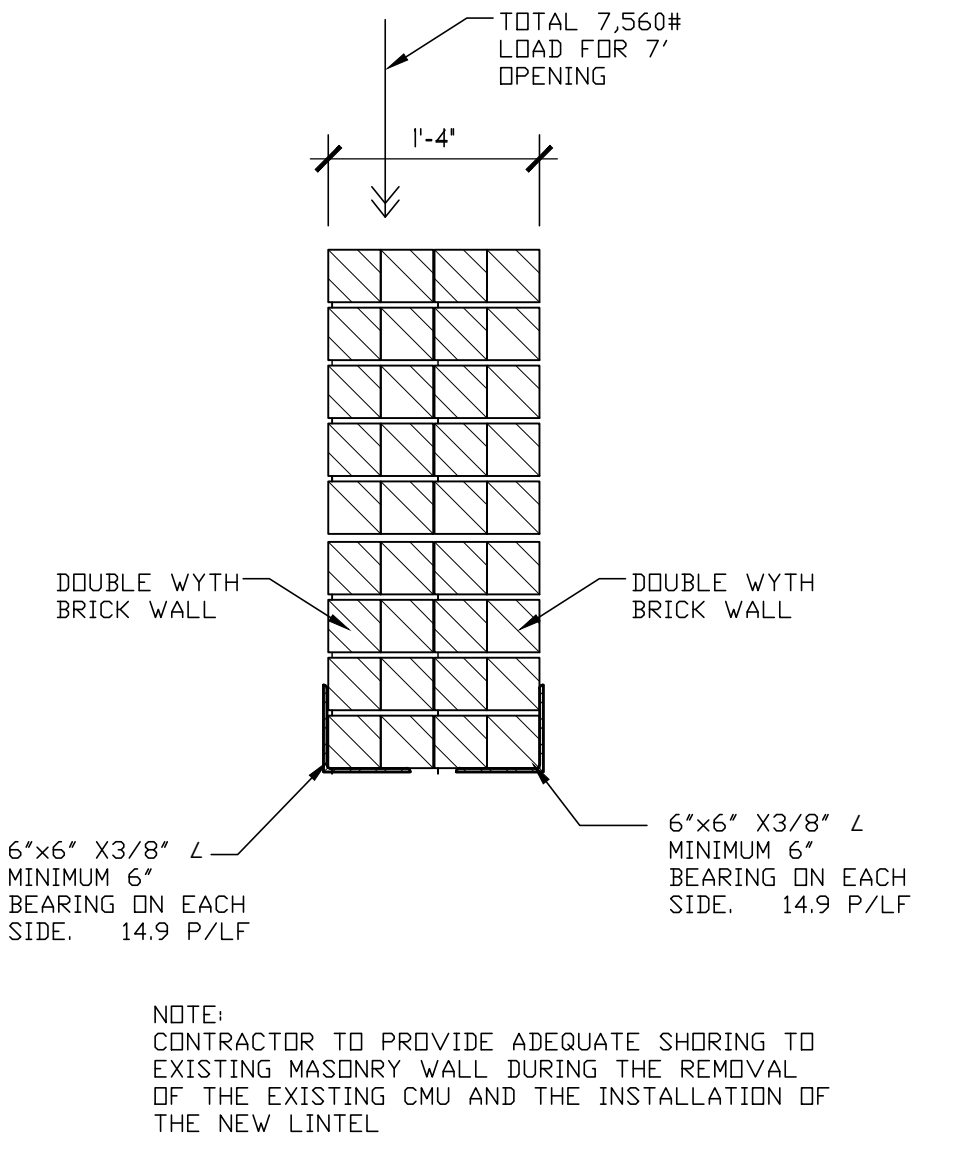
ROOF N4 RAFTERS = 40 P/RF
4 WYTHS BRICK WALL = 160 P/RF

$M = Wl / 8 = 7560 \times 12 / 8 = 79380 \text{ in.lb}$
 $6 = M / F = 79380 / 2400 = 3.31 \text{ in}^3$

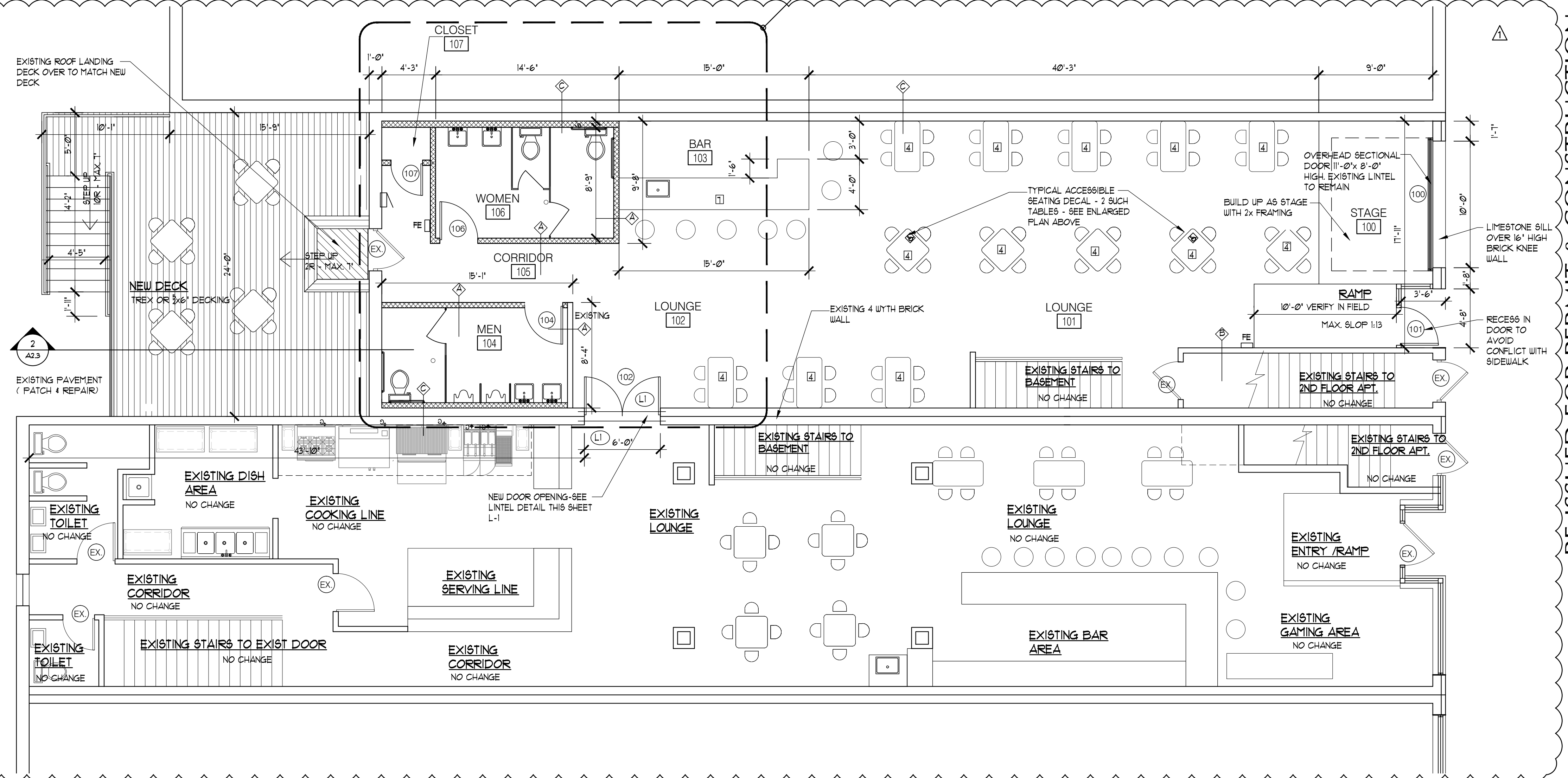
$(2) 6' \times 6' \times 3/8" \times 14.9 \text{ PLF} = (s) 3.53 \text{ in}^3 \times 2 = 7.06 \text{ in}^3$

DEFLECTION = $(D = 2.0 / 160) 0.30 \text{ in. actual deflection (bending strength)}$
 DEFLECTION CODE = $84' / 360 = 0.23 \text{ CODE}$

$0.23 \geq 0.30$
 bending is OK



3 NEW OPENING LINTEL DETAIL AT EXPANSION
Scale: 3/16" = 1'-0"



1 FLOOR PLAN
Scale: 3/16" = 1'-0"
NORTH

Project # 01824
 Drawn: RNL-MNA
 Date: 12.15.2017
 Issue/Revision Date:
 P & C 09.30.2018
 Revision 1 02.20.2019



LaPage Architects, Ltd.
 Architects - Interior Space Planners
 Professional Design Firm
 951 West Liberty Drive
 Wheaton, Illinois 60187
 Phone: (630) 665-0006 Fax: (630) 665-0886
 www.lapagearchitects.com

ADG ARCHITECTURAL MANAGEMENT INC.
 PROGRAM & PROJECT MANAGER
 TEL: 630-501-2075
 872 W. ROYAL L. 60118 email: adg@adginc.com

Proposed...
HOMETOWN SPORTS BAR & APT. REMODEL
 241 & 249 E. LINCOLN HIGHWAY
 DEKALB, ILLINOIS 60115

Drawing
 GROUND FLOOR PLAN

Sheet
A2

RE-ISSUED FOR PERMIT & CONSTRUCTION 02.20.2019

Copyright by LaPage Architects, Ltd. Design and Construction Documents. Not to be reproduced. © 2018

Project # 01824
 Drawn: RNL-MNA
 Date: 10.12.2018
 Issue/Revision Date:
 P & C 10.12.2018
 revision 1 02.20.2019

Copyright by LaPage Architects, Ltd.
 Design and Construction Documents.
 Not to be reproduced. © 2018

LaPage Architects, Ltd.
 Architects - Interior Space Planners
 Professional Design Firm
 Architect Corporation
 184-006116
 Expires: 04-30-19

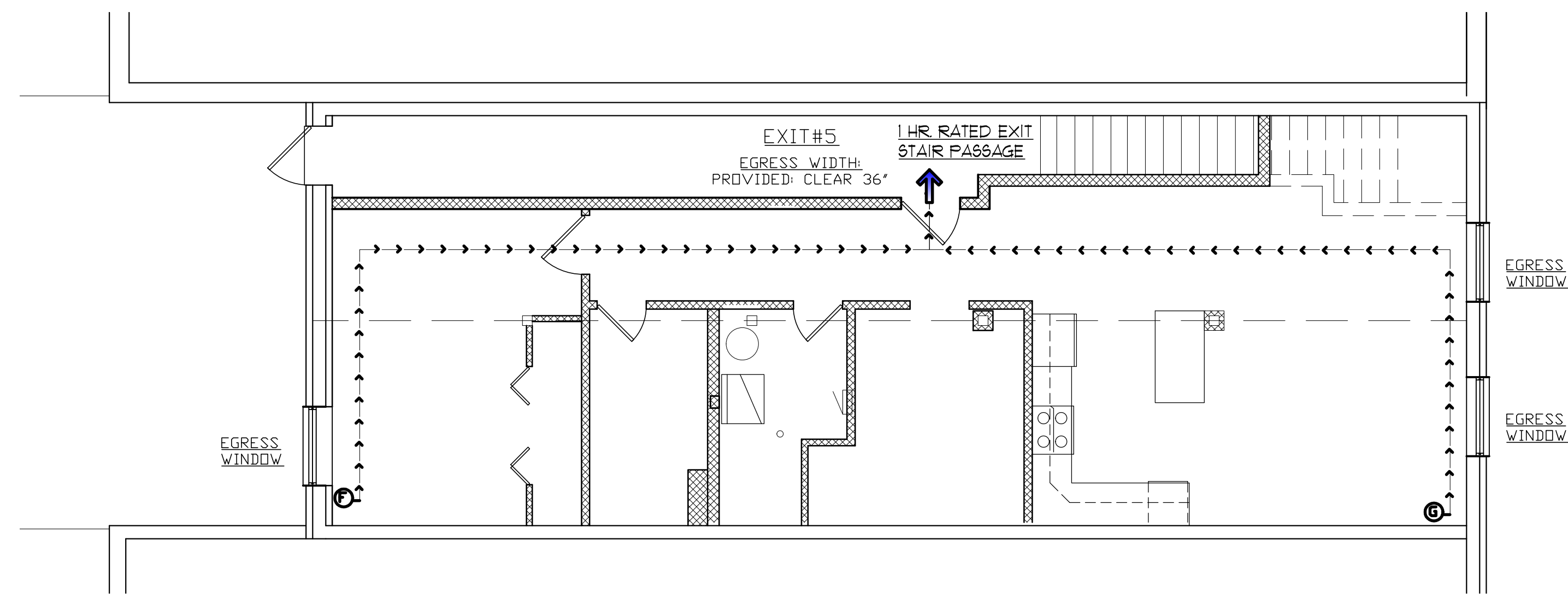
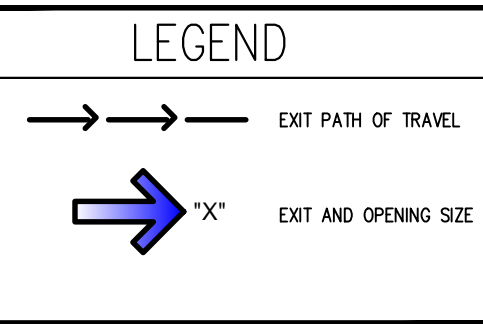
951 West Liberty Drive
 Wheaton, Illinois 60187
 Phone: (630) 665-0006 Fax: (630) 665-0886
 www.lapagearchitects.com



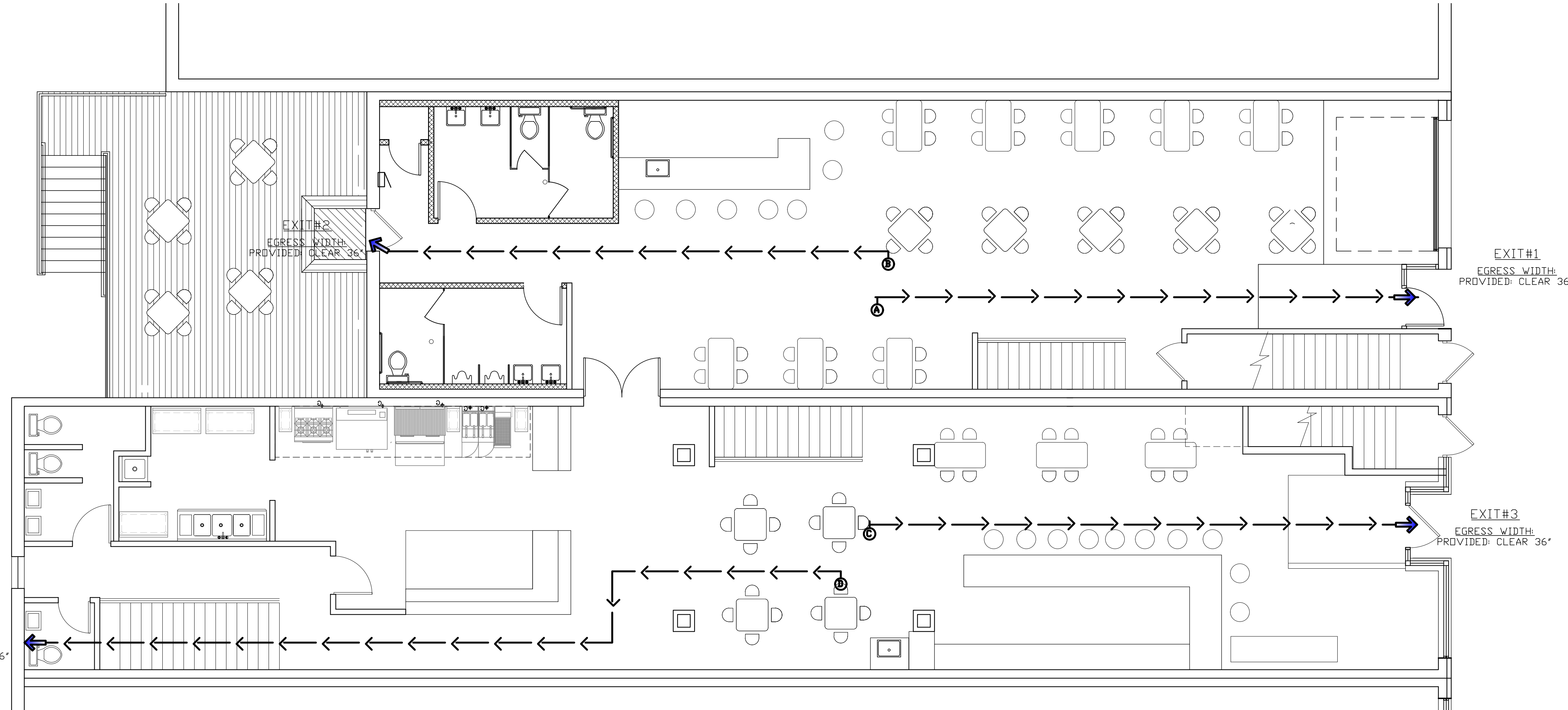
EGRESS PLANS ARE DIAGRAMATIC SHOWING EGRESS TRAVEL DISTANCES. DO NOT SCALE DRAWINGS

EGRESS WIDTH REQUIRED		EGRESS WIDTH PROVIDED	
PER 2015 IBC SECTION 1005	STAIRWAYS: 0.3 IN. PER OCCUPANT WITHOUT SPRINKLERS	OTHER EGRESS COMPONENTS:	0.2 IN. PER OCCUPANT WITHOUT SPRINKLERS
PER 2015 IBC SECTION 1006	EXIT DOORS AT 36" - MINIMUM OF 2 EMERGENCY EGRESS EXITS	RESIDENTIAL & COMMERCIAL OCCUPANCIES:	200' WITHOUT SPRINKLERS
PER 2015 IBC SECTION 1007	NUMBER OF EGRESS STAIRWAYS	ONE EXISTING INTERIOR STAIRWAYS AT DWELLING	
PER 2015 IBC SECTION 1008	EXIT ACCESS ENCLOSURE / PASSAGE	1 HOUR RATING PER IBC 1024.3	
PER 2015 IBC SECTION 1009	CORRIDOR WIDTH	MIN. 36"	
PER 2015 IBC SECTION 1010	EGRESS DOOR WIDTH	MIN. 32 INCHES CLEAR	

EXIT TRAVEL DISTANCE		EXIT TRAVEL DISTANCE	
ROUTE	MAX. DISTANCE (FEET)	ROUTE	MAX. DISTANCE (FEET)
A	34'-0"	H	X'-X"
B	39'-0"	J	X'-X"
C	43'-0"	K	X'-X"
D	70'-0"	L	X'-X"
E	X'-X"	M	X'-X"
F	46'-0"	N	X'-X"
G	44'-0"	P	X'-X"



2
 A0 SECOND FLOOR - EGRESS PLAN @APT.
 Scale: 3/16" = 1'-0"
 NORTH



1
 A0 GROUND FLOOR - EGRESS PLAN
 Scale: 3/16" = 1'-0"
 NORTH

RE-ISSUED FOR PERMIT & CONSTRUCTION 02.20.2019

ADG ARCHITECTURAL MANAGEMENT INC.
 PROGRAM & PROJECT MANAGER
 TEL: 618-501-2075
 FAX: 618-501-2075
 EMAIL: adg@adgman.com

Proposed...
HOMETOWN SPORTS BAR & APT. REMODEL
 241 & 249 E. LINCOLN HIGHWAY
 DEKALB, ILLINOIS 60115

Drawing
 EGRESS PLAN

Sheet
A0