



2020006473

DOUGLAS J. JOHNSON  
RECORDER - DEKALB COUNTY, IL

RECORDED: 7/8/2020 11:20 AM  
REC FEE: 75.00

STATE OF ILLINOIS )  
COUNTY OF DEKALB ) SS  
CITY OF DEKALB )

PAGES: 24

### CERTIFICATION

I, **RUTH A. SCOTT**, am the duly qualified and appointed Executive Assistant of the City of DeKalb, DeKalb County, Illinois, as authorized by Local Ordinance 2019-059, and as such Executive Assistant, I maintain and am safe-keeper of the records and files of the Mayor and City Council of said City.

I do hereby certify that the attached hereto is a true and correct copy of:

#### ORDINANCE 2020-042

**APPROVING A REZONING FROM THE "GC" GENERAL COMMERCIAL DISTRICT TO THE "PD-C" PLANNED DEVELOPMENT – COMMERCIAL DISTRICT, AND APPROVING A PRELIMINARY AND FINAL DEVELOPMENT PLAN TO ACCOMMODATE A FOUR-STORY EXECUTIVE SUITES RESIDENTIAL COMPLEX WITH 59 DWELLING UNITS AND GROUND LEVEL COMMERCIAL SPACE WITH A BANQUET/CONFERENCE ROOM AT 2675 SYCAMORE ROAD, DEKALB, ILLINOIS (2675 SYCAMORE ROAD DEVELOPMENT, LLC – ISAAC SUITES).**

**PASSED BY THE CITY COUNCIL** of the City of DeKalb, Illinois, on the 8<sup>th</sup> day of June 2020.

**WITNESS** my hand and the official seal of said City this 8<sup>th</sup> day of July 2020.



  
**RUTH A. SCOTT**, Executive Assistant

#### Prepared by and return to:

City of DeKalb  
City Manager's Office  
Attention: Ruth A. Scott  
164 E. Lincoln Highway  
DeKalb, Illinois 60115

**APPROVING A REZONING FROM THE “GC” GENERAL COMMERCIAL DISTRICT TO THE “PD-C” PLANNED DEVELOPMENT – COMMERCIAL DISTRICT, AND APPROVING A PRELIMINARY AND FINAL DEVELOPMENT PLAN TO ACCOMMODATE A FOUR-STORY EXECUTIVE SUITES RESIDENTIAL COMPLEX WITH 59 DWELLING UNITS AND GROUND LEVEL COMMERCIAL SPACE WITH A BANQUET/CONFERENCE ROOM AT 2675 SYCAMORE ROAD, DEKALB, ILLINOIS (2675 SYCAMORE ROAD DEVELOPMENT, LLC – ISAAC SUITES).**

**WHEREAS**, the City of DeKalb is a home rule municipality with the power and authority conferred upon it by the Illinois Municipal Code and the Constitution of the State of Illinois; and,

**WHEREAS**, 2675 Sycamore Road Development LLC, represented by John Pappas, (herein referred to as “Owner”) of the property commonly known as 2675 Sycamore Road, DeKalb, Illinois (herein referred to as “Subject Property”) has petitioned the City of DeKalb for approval of a zoning map amendment from the “GC” General Commercial District to the “PD-C” Planned Development – Commercial District; along with approval of a Planned Development Preliminary and Final Plan, in order to allow for a new 4-story mixed use building on the Subject Property; and

**WHEREAS**, pursuant to proper legal notice, a public hearing was conducted by the Planning and Zoning Commission on June 3, 2020; and

**WHEREAS**, the City and Owner have conducted all required public hearings before the Planning and Zoning Commission of the City of DeKalb for the rezoning for the Subject Property, and have otherwise satisfied all conditions precedent to the adoption of this Ordinance; and

**WHEREAS**, the City Council adopts the findings of fact of the Planning and Zoning Commission of the City of DeKalb, finds that the proposed rezoning is in conformance with the applicable zoning factors contained therein, and finds that approval of the rezoning for the Subject Property is in the public interest and promotes the public health, safety and welfare subject to the conditions approved herein, and finds as follows:

#### **STANDARDS OF REZONING**

- 1. The proposed rezoning conforms to the Comprehensive Plan, or conditions have changed to warrant the need for different types of land uses in that area. The proposed rezoning is appropriate considering the length of time the property has been vacant, as originally zoned, and taking into account the surrounding areas trend in development.**

The 2005 Comprehensive Plan recommends the subject site for commercial use and the mixed-use development meets the intent of the Plan. The proposed rezoning request will allow the development of a site that has remained vacant since 2007. The project will be an economic benefit to the community and the Sycamore Road corridor.

**2. The proposed rezoning conforms to the intent and purpose of the Unified Development Ordinance.**

The rezoning of the subject property to PD-C provides the opportunity to more directly shape the development, use and appearance of this property in accordance with the City's Comprehensive Plan. The Planned Development allows the developer and the City the flexibility to agree to a development plan and standards. The proposed rezoning request and development are in compliance with the Unified Development Ordinance. The proposal also meets the General Standard requirements for a Planned Development as described in Article 5.13.07 of the UDO.

**3. The proposed rezoning will not have a significantly detrimental effect on the long-range development of adjacent properties or adjacent land uses.**

The proposed rezoning will not have a detrimental effect on the adjacent properties or land uses as it entitles the subject property to a use of the property that is complementary with the adjacent area. The site previously contained a two-story motel, which was demolished in about 2007. The proposed rezoning request and preliminary/final plan will allow the development of a highly visible corner along the Sycamore Road corridor into a mixed-use development that will meet a housing need in the area and generate new business opportunities, while spurring increased property values and sales tax.

**4. The proposed rezoning constitutes an expansion of an existing zoning district that, due to the lack of undeveloped land, can no longer meet the demand for the intended land uses.**

The subject property is currently zoned "GC" General Commercial District. Rezoning the property to "PD-C" will allow for a well-designed project and the flexibility by the applicant to develop the property in a manner that will complement the surrounding neighborhood. In addition, the proposed rezoning request will allow the development of a site that has remained vacant since 2007.

**5. Adequate public facilities and services exist or can be provided.**

Adequate public services will be provided to the subject property. The developer will be connecting the "private" water main on subject site with a dead-end City water main that serves the properties to the west (802 -816 Oakland Drive). This will improve both fire flows and water quality for those residents and the proposed development.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL** of the City of DeKalb, Illinois as follows:

**SECTION 1:** The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

**SECTION 2:** This Ordinance is limited and restricted to the Subject Property legally described as follows:

LOTS 1, 2, AND 3 IN BLOCK 2 OF OAKLANDS, A SUBDIVISION ON SECTION 12, TOWNSHIP 40 NORTH, RANGE 4, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED IN BOOK "D" OF PLATS, PAGE 14, ON OCTOBER 20, 1906 (EXCEPTING THEREFROM THAT PART OF THE SUBJECT LAND CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, BY WARRANTY DEED RECORDED AS DOCUMENT NO. 90003945, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 IN BLOCK 2 OF OAKLANDS; THENCE SOUTHWESTERLY ON THE EAST LINE OF SAID LOT 1, A DISTANCE OF 44.34 FEET ON A TANGENTIAL CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 4472.76 FEET, A CENTRAL ANGLE OF 0 DEGREES 34 MINUTES 05 SECONDS AND THE LONG CHORD OF SAID CURVE BEARS SOUTH 15 DEGREES 17 MINUTES 06 SECONDS WEST, A CHORD DISTANCE OF 44.34 FEET TO A POINT; THENCE NORTHWESTERLY ON A LINE HAVING A BEARING OF NORTH 32 DEGREES 02 MINUTES 13 SECONDS WEST, A DISTANCE OF 33.04 FEET TO A POINT; THENCE WESTERLY ON A LINE HAVING A BEARING OF NORTH 83 DEGREES 27 MINUTES 40 SECONDS WEST, A DISTANCE OF 45.30 FEET TO A POINT; THENCE WESTERLY ON A LINE HAVING A BEARING OF NORTH 89 DEGREES 41 MINUTES 45 SECONDS WEST, A DISTANCE OF 101.18 FEET TO A POINT; THENCE NORTHERLY ON A LINE HAVING A BEARING OF NORTH 0 DEGREES 18 MINUTES 15 SECONDS EAST; A DISTANCE OF 10.00 FEET TO A POINT IN THE NORTH LINE OF LOT 1, THENCE EASTERLY ON SAID NORTH LINE OF LOT 1, SAID LINE HAVING A BEARING OF SOUTH 89 DEGREES 41 MINUTES 45 SECONDS EAST, A DISTANCE OF 175.35 FEET TO THE POINT OF BEGINNING, SITUATED IN DEKALB COUNTY ILLINOIS.

The property described above is commonly known as 2675 Sycamore Road and has a "PIN" Parcel Identification Number of 08-12-401-028.

**SECTION 3:** A zoning map amendment from the "GC" General Commercial District to the "PD-C" Planned Development – Commercial District to allow for the new 4-story mixed use building is hereby granted for the Subject Property pursuant to the Preliminary and Final Development Plans as listed in Exhibit A, subject to the standards listed in Exhibit B and subject to staff comments listed in Exhibit C, and in compliance with the City's Municipal Code and all applicable building codes, ordinances, regulations, and laws.

**SECTION 4:** Recording Directed: The City Manager or his designee are authorized to record this Ordinance in the DeKalb County Recorder's Office.


**SECTION 5:** Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and affect the same as if the invalid provision had not been a part of this Ordinance.

**SECTION 6:** That all provisions of the Unified Development Ordinance shall remain in full force and effect and this Ordinance shall take effect upon its passage and approval according to Law.

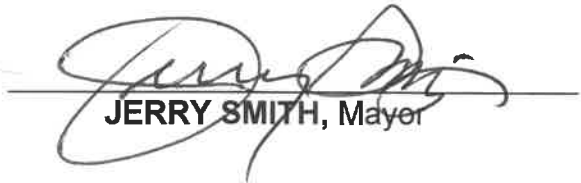
**SECTION 7:** That the City Clerk or the Executive Assistant of the City of DeKalb, Illinois be authorized and directed to attest the Mayor's signature.

**ADOPTED BY THE CITY COUNCIL** of the City of DeKalb, Illinois at a Regular meeting thereof held on the 8th<sup>th</sup> day of June 2020 and approved by me as Mayor on the same day. Passed on First Reading by an 8-0 roll call vote. Aye: Morris, Finucane, Smith, Perkins, McAdams, Verbic, Faivre, Mayor Smith. Nay: None. Second Reading waived by an 8-0 roll call vote. Aye: Morris, Finucane, Smith, Perkins, McAdams, Verbic, Faivre, Mayor Smith. Nay: None.

**ATTEST:**



**RUTH A. SCOTT**, Executive Assistant



**JERRY SMITH**, Mayor



**ISAAC EXECUTIVE SUITES**  
DEKALB, ILLINOIS  
2675 SYCAMORE ROAD DEVELOPMENT, LLC  
2020

B.M. #13 - CHISELED "X" ON S.E. BONNET BOLT OF FIRE HYDRANT SOUTH SIDE OF OAKLAND DRIVE #100' EAST OF ROBERT'S LANE. ELEV.=875.41

## 1 of 10

**GENERAL NOTES**

- 1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION ADOPTED JANUARY 1, 2016 BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION. THE STANDARD SPECIFICATIONS FOR WATER & SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND THE CITY OF COVINGTON CODES AND ORDINANCES.
- 2) THE CONTRACTOR SHALL TAKE WHATEVER PRECAUTIONS WHICH MAY BE NECESSARY TO PROTECT THE PROPERTY OF THE VARIOUS PUBLIC UTILITIES WHICH MAY BE LOCATED UNDERGROUND OR ABOVE GROUND, AT OR ADJACENT TO THE SITE OF THIS IMPROVEMENT. NEEDED ADJUSTMENTS OF THESE FACILITIES SHALL BE COORDINATED BY THE CONTRACTOR AND THE RESPECTIVE UTILITY COMPANIES IF SO REQUIRED. THE OWNER SHALL BE SAVED HARMLESS AND CARE SHALL BE EXERCISED SO AS NOT TO DISRUPT OR DESTROY THE SERVICES PROVIDED BY THESE UTILITIES. THE CONTRACTOR WILL BE REQUIRED TO REPAIR OR REPLACE ANY PUBLIC UTILITY PROPERTY WHICH HAS BEEN DAMAGED THROUGH HIS/her EFFORTS. THE PROCEDURE AND SPECIFICATIONS OF REPAIR WILL BE IN ACCORDANCE WITH THE REGULATIONS AND/OR POLICY OF THE UTILITY.
- 3) THE CONTRACTOR SHALL CONTACT AND COORDINATE HIS ACTIVITIES WITH THE UTILITIES BY CONTACTING: JULIE - 608692-0123.
- 4) THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AND BE FAMILIAR WITH THE UTILITY LAYOUT OF THIS PROJECT AND STANDARD CONSTRUCTION PROCEDURES AND PRACTICES PRIOR TO BUILDING.
- 5) THE AGGREGATE BASE COURSE, TYPE B, SHALL BE CA-10 OR CA-08. THIS MATERIAL SHALL BE PLACED AND COMPACTED TO THE DIMENSION AS SHOWN ON THE PLANS AS PER SECTION 301 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 6) BITUMINOUS MATERIALS PRIME COAT SHALL BE SS-61 MC-30 OR P.E.P. APPLIED AT A RATE OF 0.35 GALLONS PER SQUARE YARD.
- 7) IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CORRECTNESS OF THE UTILITIES PRIOR TO THE START OF CONSTRUCTION BY UNCOVERING EXISTING UNDERGROUND UTILITIES IN ALL LOCATIONS WHERE HE FEELS THE PROPOSED CONSTRUCTION MAY NEED TO BE ALTERED TO PREVENT CONFLICTS IN LINE, GRADE OR WORKING CLEARANCES.
- 8) ALL WORK ON THE STREETS, PARKING LOTS, SIDEWALKS, WATERMAIN, SANITARY SEWER, AND STORM SEWER SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS IN THE PLANS AND SHALL INCLUDE ALL LABOR, EQUIPMENT AND MATERIALS NECESSARY TO PROVIDE THE OWNER WITH A COMPLETE WORKABLE SYSTEM COMPLYING WITH ALL APPLICABLE CODES.
- 9) ALL MATERIAL INCORPORATED INTO THE PROJECT FOR SITE DEVELOPMENT OF PARKING, DRIVEWAYS, SIDEWALKS, TRENCH BACKFILL, ETC. SHALL BE PER I.D.O.T. SPECIFICATIONS AS PER THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.
- 10) TRENCH BACKFILL OF A GRANULAR MATERIAL SHALL BE USED AT ALL EXCAVATED TRENCH AREAS THAT ARE TO HAVE SIDEWALK, PARKING, DRIVEWAYS, OR CURB OVERLIFT. THIS MATERIAL SHALL BE BACKFILLED IN 8" LIFTS AND COMPACTED TO MINIMIZE SETTLEMENT. TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EMPLOYEES IN EXCAVATIONS IN ACCORDANCE WITH THE EXCAVATION STANDARDS ADOPTED BY THE U.S. DEPARTMENT OF LABOR AND O.S.H.A. THE PROTECTION SYSTEMS FOR EXCAVATIONS GREATER THAN 20 FEET IN DEPTH SHALL BE DESIGNED BY A REGISTERED STRUCTURAL ENGINEER OF ILLINOIS AND THE TABULATED DATA AND DESIGN MUST BE AVAILABLE FOR INSPECTION. THIS COST SHALL BE INCLUDED IN THE CONTRACTORS UNIT PRICE BID PER FOOT FOR INSTALLING THE UNDERGROUND UTILITY OF THE SIZE SPECIFIED IN THE PLANS.
- 12) ALL DISTURBED AREAS SHALL BE SEEDED WITH THE APPROPRIATE SEASONAL SEED MIXTURE, FERTILIZED AT A RATE OF 200 LBS/AC AT THE RATIO OF 10:10:10 FOR NITROGEN, PHOSPHOROUS AND POTASSIUM, AND MULCHED PER THE RECOMMENDATIONS OF THE SEED COMPANY. ALL SEEDED AREAS SHALL HAVE THE EXISTING VEGETATION PLUS THE TOP TWO INCHES OF SOIL PREPARED TO THE SATISFACTION OF THE OWNER.
- 13) ALL PROPOSED SPOT ELEVATIONS ARE TO FINISHED PAVEMENT, UNLESS NOTED OTHERWISE.
- 14) ALL PARKING SPACES AND DIAGONALS SHALL BE PAINTED WITH A 4" YELLOW PAVEMENT MARKING LINE.
- 15) TRUCKS AND MOTOR TRUCKS WILL BE ALLOWED TO OPERATE ON THE SUBGRADE, HOWEVER, BROAD SUBGRADE SHOW ANY SIGN OF DISTRESS. ALL OPERATIONS WILL CEASE UNTIL THESE ITEMS ARE CORRECTED TO THE SATISFACTION OF THE ENGINEER. ANY SUBGRADE DISTRESSED BY TRUCKS AND MOTOR TRUCKS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. NO ADDITIONAL COMPENSATION WILL BE ALLOWED.
- 16) THE PRIME CONTRACTOR SHALL REQUEST FROM THE ENGINEER OR OWNER A COPY OF THE CONSTRUCTION DRAWINGS WHICH IS TO BE DESIGNATED AND USED SOLELY BY THE CONTRACTOR FOR THE PURPOSE OF RECORDING THE "AS-BUILT" LOCATIONS AND ELEVATIONS OF THE IMPROVEMENTS. PRIOR TO THE BEGINNING OF ANY SITE WORK, THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH THE OWNER TO DISCUSS THE EXTENT OF WHAT IS REQUIRED TO BE SHOWN ON THE POST CONSTRUCTION PLANS. AT A MINIMUM, THE CONTRACTOR SHALL RETURN THE POST CONSTRUCTION DRAWINGS TO THE OWNER AT THE END OF THE PROJECT WITH THE REQUIRED "AS-BUILT" INFORMATION INDICATED ON THE PLANS. THE CONTRACTOR SHALL PROVIDE TO THE OWNER, IN A FORMAT APPROVED BY THE ENGINEER AND OWNER, THE FOLLOWING INFORMATION: (AT A MINIMUM) - DISTANCES MEASURED FROM LOT CORNERS, AND/OR LOT LINES TO UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, STORM SEWER, DRAIN TILES, WATER MAIN, SANITARY SEWER MAIN AND THEIR ASSOCIATED TAPS AND SERVICE LATERALS. ALSO ANY CHANGES IN DIMENSIONS FROM THE CONSTRUCTION DRAWINGS SHOULD BE NOTED.
- 17) CONTRACTOR SHALL REMOVE ALL SURPLUS SATISFACTORY SOIL AND WASTE MATERIAL FROM THE SITE AND LEGALLY DISPOSE OF IT.
- 18) ALL LANDSCAPED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
- 19) THE CONTRACTOR SHALL PROVIDE THE NECESSARY LABOR AND EQUIPMENT TO PROPERLY INSTALL THE SIGNAGE AND PAVEMENT MARKINGS AS INDICATED IN THE DRAWINGS, IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- 20) ALL STORM SEWER SHALL BE REINFORCED CONCRETE PIPE CLASS IV CONFORMING TO ASTM SPECIFICATION C76, UNLESS OTHERWISE NOTED. CONCRETE PIPE JOINTS SHALL CONFORM TO ALL STORM SEWER ASTM C-443 FOR FLEXIBLE GASKET, FITTINGS (BENDS, TEES, CAPS, ETC.) SHALL BE INCLUDED IN THE COST OF THE STORM SEWER AS SPECIFIED.
- 21) SILTATION FENCE SHALL BE INSTALLED AS PRUDENT AND NECESSARY TO PROVIDE TEMPORARY EROSION CONTROL.
- 22) SITE GRADING: SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:
  1. LAWN OR UNPAVED AREAS: PLUS OR MINUS 0.10 FOOT (30 MM).
  2. WALKS: PLUS OR MINUS 0.10 FOOT (30 MM).
  3. PAVEMENTS: PLUS OR MINUS 1/8 INCH (3 MM).
- 23) THE LOCATION OF SOME EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THE BASIS OF INFORMATION FURNISHED BY OTHERS AND THE ENGINEER DOES NOT WARRANT OR GUARANTEE THIS INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CORRECTNESS OF THE UTILITIES PRIOR TO THE START OF CONSTRUCTION BY UNCOVERING UNDERGROUND UTILITIES IN ALL LOCATIONS WHERE HE FEELS THE PROPOSED CONSTRUCTION MAY NEED TO BE ALTERED TO PREVENT CONFLICTS IN LINE, GRADE OR WORKING CLEARANCES.
- 24) SAWCUTS SHALL BE REQUIRED FOR ALL PAVEMENT, SIDEWALK AND CURB REMOVED ADJACENT TO EXISTING PAVEMENT. SIDEWALK AND CURB SHALL BE CONSIDERED INCIDENTAL.
- 25) CONTRACTOR TO VERIFY LOCATION OF DOWNSPOUTS WITH ARCHITECTURAL PLANS PRIOR TO INSTALLATION OF COLLECTION TILE.
- 26) A 4" AGGREGATE BASE COURSE TYPE B SHALL BE PROVIDED UNDER ALL CURB & GUTTER.
- 27) BEDDING, MANHOLES, AND INITIAL BACKFILL SHALL BE FRA GRAVEL OR CA-7 AND FINAL BACKFILL SHALL BE CA-7 AND WITHIN THE TOP 8" OF THE TOP OF SUBGRADE SHALL BE CA-6 FOR PIPE IN THE R.O.W. UNDER PAVEMENT.
- 28) THE CONTRACTOR SHALL MARK ALL SEWERS CROSSED WHEN EXCAVATING ON SITE. ALL SEWERS CROSSED THAT ARE IN WORKING CONDITION SHALL BE RECONNECTED AND MADE OPERABLE TO THE SAME CONDITION THEY WERE IN PRIOR TO CONSTRUCTION.
- 29) EXISTING UNDERGROUND UTILITIES THAT ARE BEING ABANDONED IN PLACE SHALL BE PLUGGED AND SEALED WATER TIGHT.
- 30) ANY DAMAGED PAVEMENT IN THE R.O.W. SHOULD BE REPLACED IN-KIND.

REVISIONS	
NO.	DATE

CONTRACT	DATE



SITE PLAN  
OF  
ISAC EXECUTIVE SUITES  
FOR  
2675 SYCAMORE ROAD DEVELOPMENT, LLC

SHEET TITLE

**GENERAL NOTES**JOB NUMBER  
2140094DATE  
03/20/2020

SHEET NO.

2 of 10

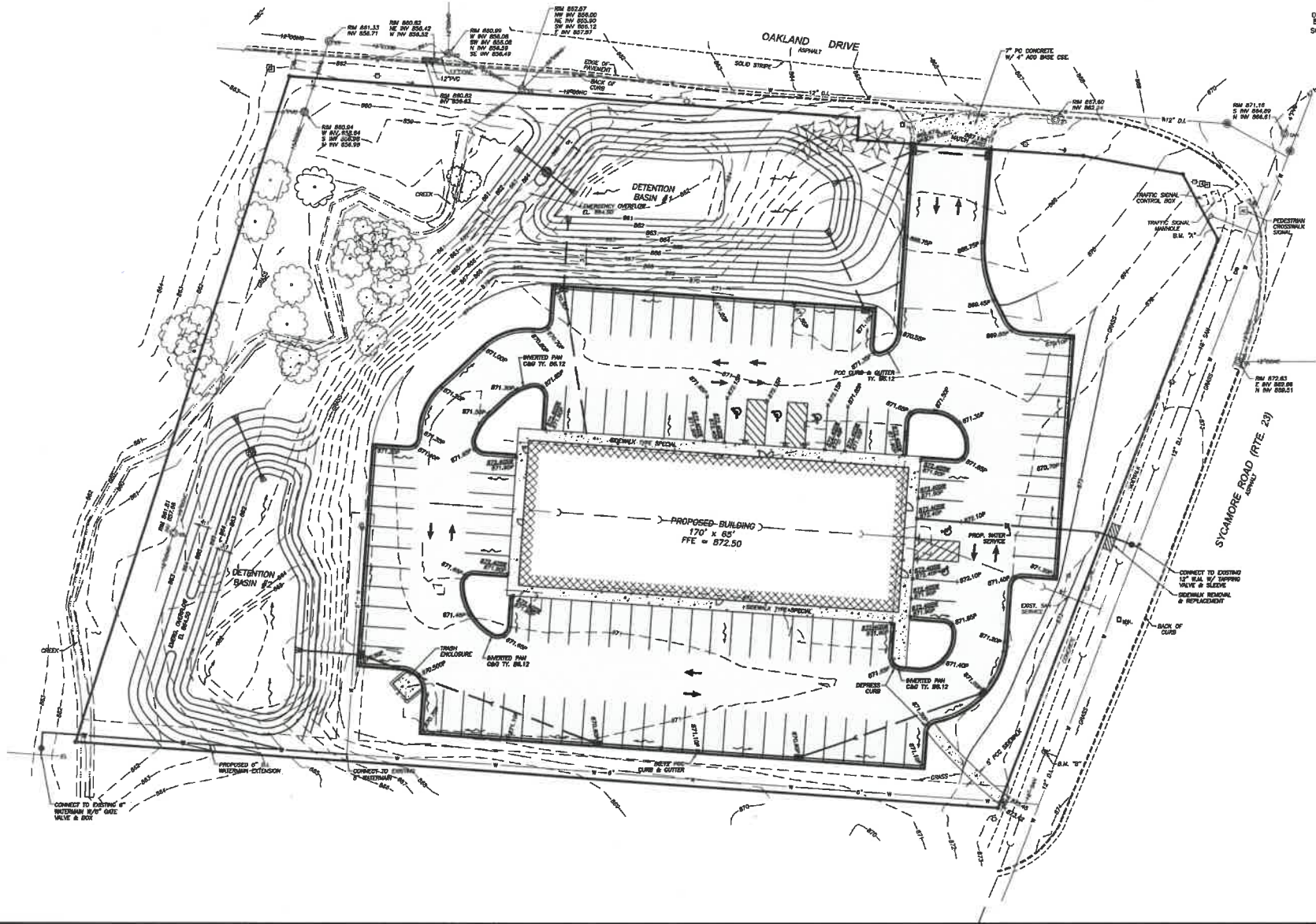












REVISIONS	
NO.	DATE
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

DESIGNED BY	MAK
CHECKED BY	DW
INCHES	
FEET	

**wendler**  
 wendler engineering services, inc.  
 www.wendlereng.com  
 11111 Sycamore Road, Suite 200  
 Sycamore, IL 60178  
 815.336.2001

**SITEPLAN**  
 OF  
**ISAAC EXECUTIVE SUITES**  
 FOR  
**2675 SYCAMORE ROAD DEVELOPMENT, LLC**

**SHEET TITLE**  
**GRADING**  
**PLAN**

PROJECT NUMBER	214004
DATE	03/30/2020
SHEET NO.	6 of 10





1) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS". THESE IMPROVEMENT PLANS AND DETAILS, SPECIAL PROVISIONS AND IN ACCORDANCE WITH CODES AND ORDINANCES OF THE CITY OF DEKALB, ILLINOIS.

- 2) LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE LAID WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS AND LAYING RADII FOR THE VARIOUS PIPE LENGTHS SHALL BE IN ACCORDANCE WITH ANSI/AWWA C900. WHEN RUBBER GASKETED PIPE IS LAID ON A CURVE, THE PIPE SHALL BE JOINED IN A STRAIGHT ALIGNMENT AND THEN DEFLECTED TO THE CURVED ALIGNMENT. TRENCHES SHALL BE MADE WIDER ON CURVES FOR THIS PURPOSE.

- 5) ALL TEES, BONDS, VALVES, AND FIRE HYDRANTS SHALL BE ADEQUATELY SUPPORTED WITH A CONCRETE BASE, AND SUPPORTED LATEROALLY WITH POURED IN PLACE THRUST BLOCKING AGAINST UNDISTURBED EARTH.

- 4) ALL WATER MARKS SHALL HAVE A MINIMUM DEPTH OF COVER OF 8.5".

- 8) **HYDROSTATIC TESTS** - THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTS IN ACCORDANCE WITH DIVISION IV, SECTION 41 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND APPLICABLE PROVISIONS OF AWWA C-600 AND C- 603. THE WATER MAINS SHALL BE PRESSURE TESTED AT 150 PSL. ALLOWABLE LEAKAGE SHALL BE AS SET FORTH IN AWWA C-600 LATEST EDITION.

- 6) DISINFECTING OF THE WATER MAINS - UPON COMPLETION OF THE NEWLY LAID WATER MAINS, THE WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION, PROCEDURE DESCRIPTION, APPENDIX C-801, LATEST EDITION. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING SAMPLES AND HAVING BACTERIOLOGICAL TESTING PERFORMED AS REQUIRED BY THE EPA. THE CONTRACTOR SHALL FURNISH THE CITY THE REQUIRED DOCUMENTATION, TEST RESULTS, ETC., REQUIRED BY THE EPA BEFORE PLACING THE WATER MAINS IN SERVICE.

- 7) ALL WATER MAINS AND WATER SERVICE LINES SHALL BE PROTECTED FROM EXISTING SERVICES, EXISTING SEWERS, HIGH VOLTAGE POWER LINES, AND EXISTING TELEPHONE LINES BY THE FOLLOWING: A) POWER SERVICE CONNECTIONS AND DRAINS IN ACCORDANCE WITH TITLE 36: ENVIRONMENTAL PROTECTION AGENCY SUBTITLE F; PUBLIC WATER SUPPLY; CHAPTER 8: ENVIRONMENTAL PROTECTION AGENCY, PARTS 601- 604: TECHNICAL POLICY STATEMENTS, SECTION 603.718.
- 8) WATER MAINS TO BE INSTALLED IN CORROSIVE SOILS SHALL BE WRAPPED WITH A POLYETHYLENE SHEET, TIED OR TAPED SECURELY IN PLACE, WITH A THICKNESS OF EIGHT (8) MILS. AND COMPLYING WITH ASTM D1240.

**Under Main:** CL-52 Ductile Iron Pipe  
For River Crossing Pipe—CL-52 Restrained Joint Ductile Iron Pipe

- Under Main Fittings:** Compact Ductile Iron Mechanical Joint Fittings  
 • ANSI A-15.1  
 • Must be American Made

- Coda Valve (4-12)\***      Mueller A2380-30  
 • Resident Waiver Valve      American Flow Control Series 2500  
 • Epoxy Coated Steel  
 • Coated Valve Body  
 • 2" Square not open left  
 • AWWA-D15  
 • \*No Alternates Allowed\*\*

- |                                                                                                                     |                                                      |         |
|---------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|---------|
| <u>Radically Vicious (1st and Larger)</u><br>* AWWA C604<br>* 2nd Square Not Open Left<br>* "No Alternates Allowed" | Mueller B3311-20 Mechanical Joint<br>Pratt Groundhog | [Blank] |
|---------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|---------|

- |                                                    |                                                        |                  |
|----------------------------------------------------|--------------------------------------------------------|------------------|
| Era Hydrostat<br>• JAWBA C502<br>• 6" Travel Depth | Waterous Pacer W987-250.<br>Musler Super Contactor-289 | Date<br>Operator |
|----------------------------------------------------|--------------------------------------------------------|------------------|

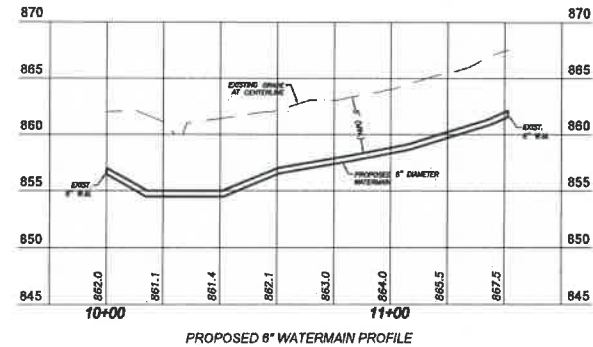
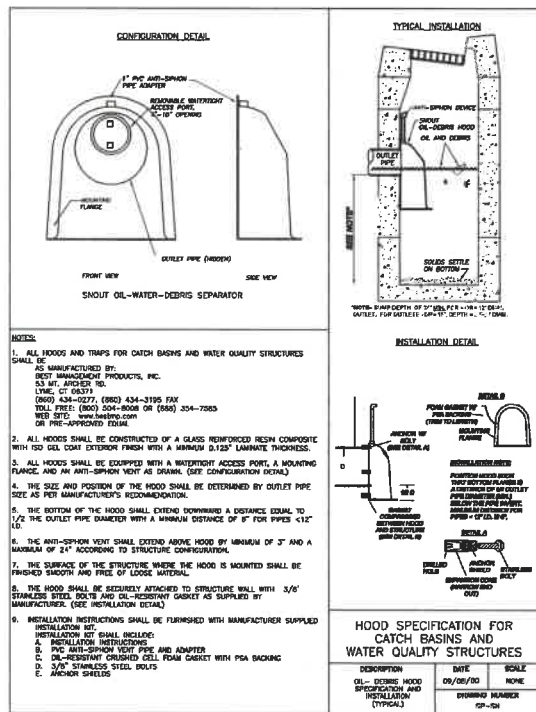
- \* 6" MJ Shov
- \* 1 1/2" Pentagon Operating Nut
- \* Open Left
- \* One 4" NST Pumping Nozzle
- \* Two 2-1/2" NST Hose Nozzles
- \* Painted Red
- \* \*\*No Alternates Allowed\*\*

- Notes Given: Tyler 8843 Cost Iron  
 • Two Piece Box  
 • 6" Stool/Box  
 • 144 Stool/Box

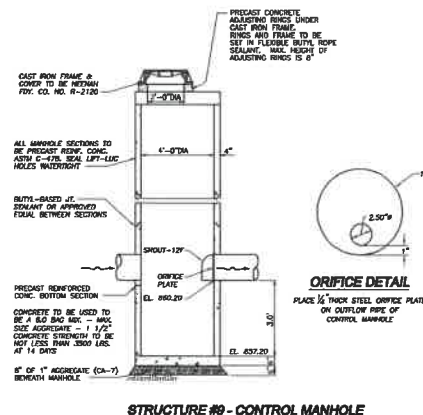
- John Yaulis:  
 • He worked with "Water"  
 • All made him when must be  
 installed in water
- East Jordan #1030  
 March 20 1975

- | Number of Voles            |           | Weight gwt/12 |
|----------------------------|-----------|---------------|
| Director of State Mtn.     | Head Size |               |
| 8" and under               | 5"-8"     |               |
| 8" to 14"                  | 5"-8"     |               |
| 14" and over               | 5"-8"     |               |
| Director of Training Voles | Head Size |               |
| 8" and under               | 5"-8"     |               |
| 10" and over               | 6"-9"     |               |

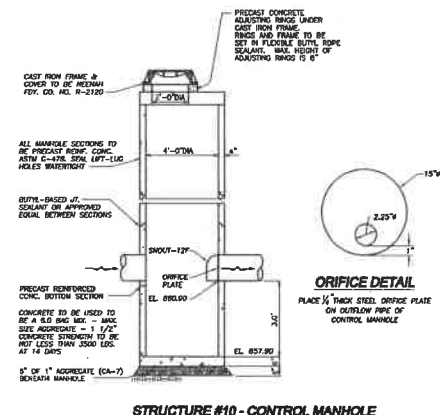
- Tapping Steves      Mueller MS15 MJ CI Tapping Steves  
Acceptable All Sizes  
Swish Steel 4005 Tapping Steves or  
Cascade CSI-EX  
Acceptable for all tap sizes on  
4", 6" or 8" Mains



PROPOSED 6" WATERMAIN PROFILE



**STRUCTURE #9 - CONTROL MANHOLE**



**STRUCTURE #10 - CONTROL MANHOLE**

[illegible]

NAME	DATE
MAAO	DUN

**wendler**  
wendler engineering services, inc.  
c/s - structural - surveying  
www.wendlers.com    pk: 815.285.2881  
Illinois Professional Design Firm No. 194-000940

**SITEPLAN  
OF  
ISAAC EXECUTIVE SUITES  
FOR  
2875 SYCAMORE ROAD DEVELOPMENT, LLC**

**SHEET TITLE**

**DETAILS**

**JOB NUMBER**  
2140094

**DATE**  
03/30/2020

**SHEET NO.**  
**8 of 10**







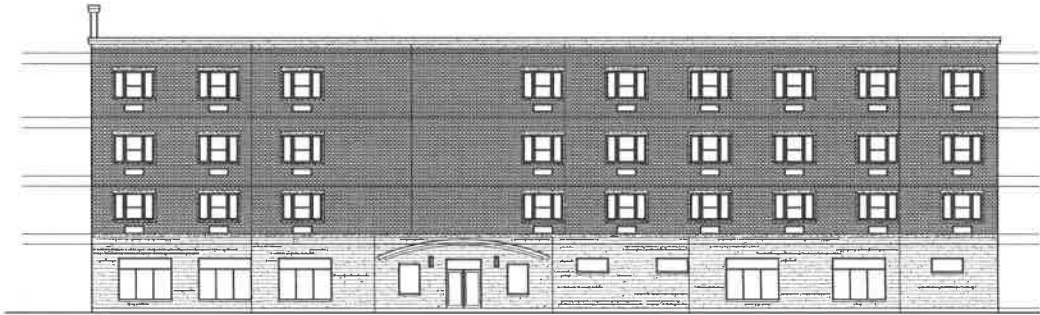




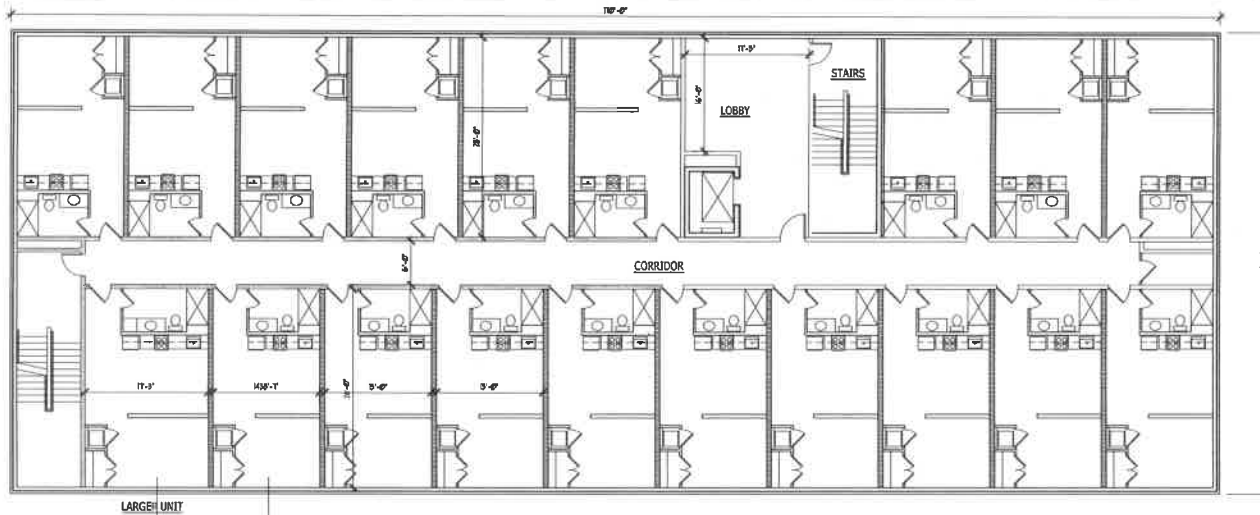
EAST ELEVATION - DEKALB AVENUE



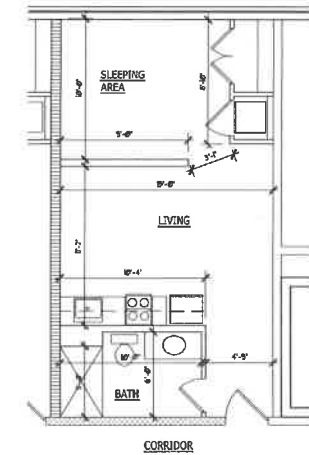
SOUTH ELEVATION



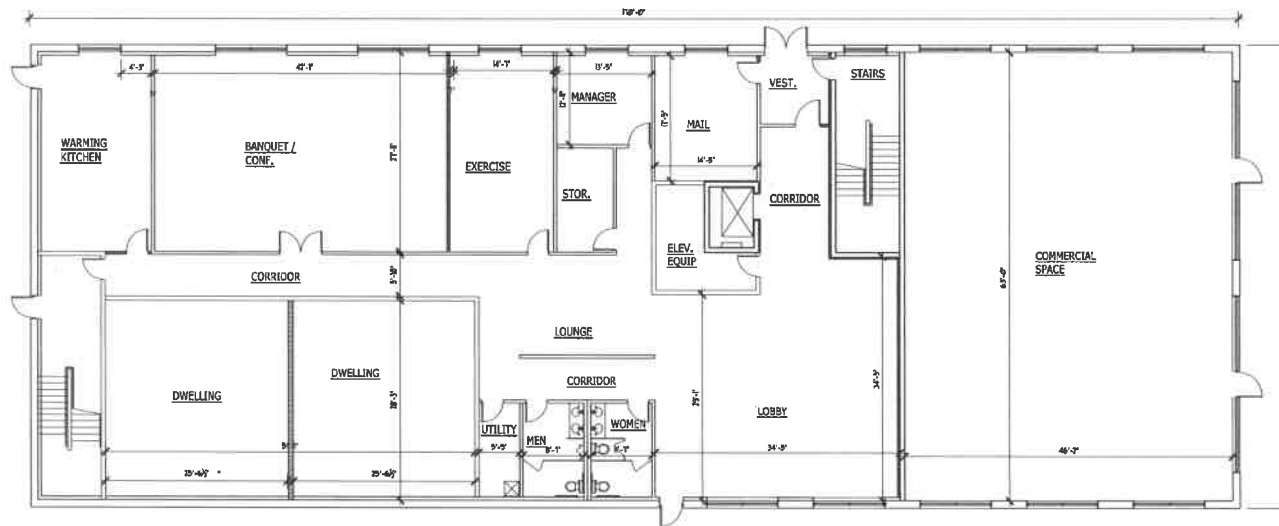
NORTH ELEVATION - OAKLAND SIDE



TYPICAL UPPER FLOOR PLAN



TYPICAL ENLARGED APT. PLAN



GROUND FLOOR PLAN

OAKLAND DRIVE

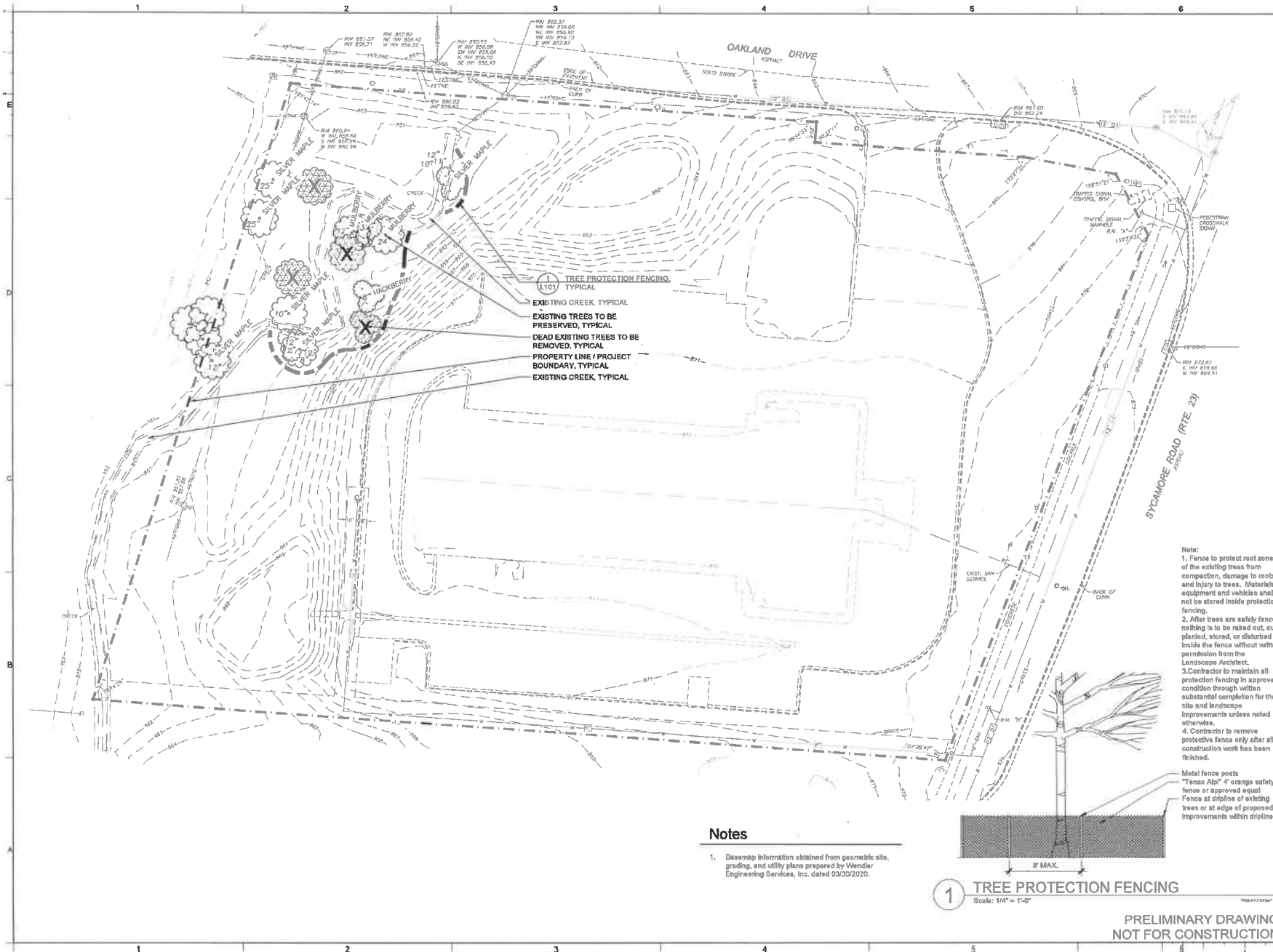
ROUTE 23

- 57 UNITS TOTAL FOR 4 STORY BLDG
- COMMERCIAL TO EAST SIDE



OAKLAND HOTEL  
DETAILED  
FLOOR PLANS

SK1  
ONE



**SITE TO PLACE INC.**  
Site to Place, Inc.  
647 South Randall Road, #408  
Elgin, Illinois 60120  
Phone: (847) 500-8434 Fax: (847) 540-3095  
www.sitoplace.com

CONSULTANTS:

SCALE(S):

PREPARED FOR:

**Wendler Engineering Services, Inc.**  
Deser, Illinois

PROJECT NAME:

**Isaac Executive Suites at 2675 Sycamore Road Site and Landscape Improvements**  
DeKalb, Illinois

PROJECT NO: 018-002

DESIGNED FOR CITY REVIEW

DATE: 04/17/2020

REVISIONS:

DRAWN BY: BMS

CHECKED BY: BMS

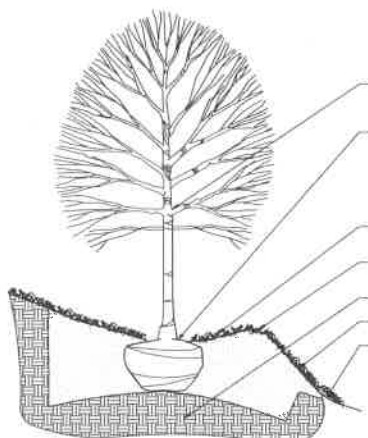
Scale: 1" = 20'  
0' 5' 10' 20' 40' 60'

**SHEET TITLE:**  
**EXISTING VEGETATION PRESERVATION AND REMOVALS PLAN**

**L-101**

DATE: 04/17/2020

© 1998 by J. P. Flanagan, Inc.



**8 PLANTING-TREE ON SLOPE CONDITION**  
Scale: 1/2" = 1'-0"

See tree planting details for further information on installation, backfill materials, and tree pit size.

Avoid placing soil on top of the root ball. Maintain exposure of root flare. If root flare is not exposed, carefully remove excess soil. Set root ball so that base of root flare is 3" to 6" higher than adjacent finish grade (root flare is typically 6" below bud graft union on grafted trees).

Mulch, 3" deep in a 6' diameter ring. No mulch shall be placed within 6" of trunk.

Prepare 3" minimum height saucer around pit for watering.

Undisturbed subgrade, typical.

2 1/2" Maximum slope.

Finish grade.



**6 PLANTING-EVERGREEN TREE**  
Scale: 1/2" = 1'-0"

Evergreen tree with a strong central leader. Do not prune, stake, or wrap unless directed to do so. If pruning is required DO NOT cut leader on evergreen trees and only prune branches to encourage central leader growth.

Remove any broken branches, tree bags, and ribbons upon approval of plant.

Maintain exposure of root flare. If root flare is not exposed, carefully remove excess soil. Set root ball so that base of root flare is 3" to 6" higher than adjacent finish grade (root flare is typically 6" below bud graft union on grafted trees).

Mulch, 3" deep in a 6' diameter ring. No mulch shall be placed within 6" of trunk.

Cut and remove all cords, twine, rope, wire, burlap, and plastic wrap from around top half of root ball and trunk. If root ball is enclosed in a wire basket remove top half of wire basket and fold remaining points down into the planting pit.

Prepare 3" minimum height saucer around pit for watering.

Finish grade.

Planting soil mix, typical.

Flare and roughen sides and edges of planting pit. Pit to be twice as wide as root ball diameter. Backfill pit with planting soil mix. Remove excess excavated material from site and dispose of legally.

Undisturbed subgrade, typical.



**4 PLANTING-DECIDUOUS / EVERGREEN SHRUB**  
Scale: 1/2" = 1'-0"

Remove any broken branches, tree bags, and ribbons upon approval of plant.

Avoid placing soil on top of the root ball. Maintain exposure of root flare. If root flare is not exposed, carefully remove excess soil. Set root ball so that base of root flare is 3" to 6" higher than adjacent finish grade (root flare is typically 6" below bud graft union on grafted trees).

Mulch, 3" deep in a 6' diameter ring. No mulch shall be placed within 6" of trunk.

Prepare 3" minimum height saucer around pit for watering.

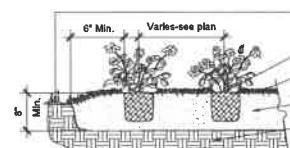
Finish grade.

Flare and roughen sides and edges of planting pit. Pit to be twice as wide as root ball diameter. Backfill pit with planting soil mix. Remove excess excavated material from site and dispose of legally.

Planting soil mix, typical.

Cut and remove all cords, twine, rope, wire, burlap, and plastic wrap from around top half of root ball and trunk. If root ball is enclosed in a wire basket remove top half of wire basket and fold remaining points down into the planting pit.

Undisturbed subgrade, typical.



**3 PLANTING-ANNUAL AND PERENNIAL**  
Scale: 1" = 1'-0"

Finish grade adjacent to perennial or annual bed.

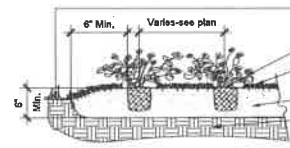
Set plants at same level as grown in container.

Mulch, 2" deep, work under branches and leaves. Planting bed to be 2" above adjacent finish grade.

Prepare entire planting bed to a 6" depth of planting soil mix.

Subgrade, typical.

Note: Root mass of root bound plants in the pots shall be loosened before planting.



**2 PLANTING-GROUNDCOVER**  
Scale: 1" = 1'-0"

Finish grade adjacent to perennial or annual bed.

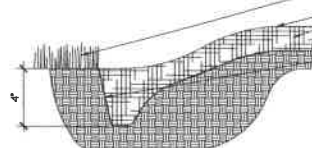
Set plants at same level as grown in container.

Mulch, 1" deep, work under branches and leaves. Planting bed to be 2" above adjacent finish grade.

Prepare entire planting bed to a 6" depth of planting soil mix.

Subgrade, typical.

Note: Root mass of root bound plants in the pots shall be loosened before planting.



**1 PLANTING BED EDGE - SPADE CUT**  
Scale: 3" = 1'-0"

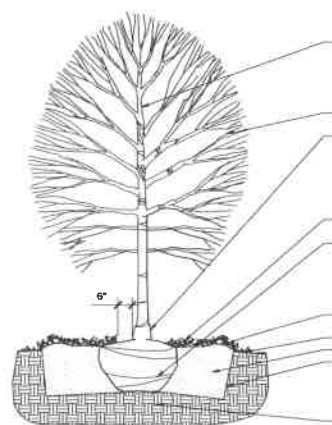
Adjacent plantings (turf, natural plantings, etc.).

Finish grade of planting bed.

Mulch.

Spade cut edge with smooth, uniform, clean edge to match bedline drawn in the plans. Segmental areas shall not be accepted. Remove and dispose of spoils off site in a legal manner.

Note: Spade edges to be installed on all planting beds abutting turf or natural plantings and on all tree rings.



**7 PLANTING-SHADE TREE**  
Scale: 1/2" = 1'-0"

Deciduous tree with a strong central leader. Do not prune, stake, or wrap unless directed to do so. If pruning is required do not cut leader on deciduous trees and only prune branches to encourage central leader growth.

Remove any broken branches, tree bags, and ribbons upon approval of plant.

Avoid placing soil on top of the root ball. Maintain exposure of root flare. If root flare is not exposed, carefully remove excess soil. Set root ball so that base of root flare is 3" to 6" higher than adjacent finish grade (root flare is typically 6" below bud graft union on grafted trees).

Mulch, 3" deep in a 6' diameter ring. No mulch shall be placed within 6" of trunk.

Cut and remove all cords, twine, rope, wire, burlap, and plastic wrap from around top half of root ball and trunk. If root ball is enclosed in a wire basket remove top half of wire basket and fold remaining points down into the planting pit.

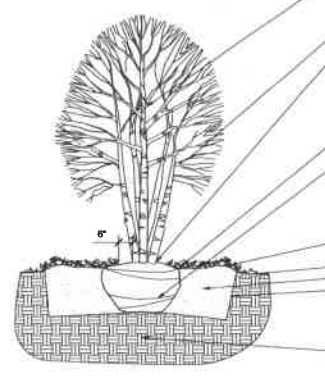
Prepare 3" minimum height saucer around pit for watering.

Finish grade.

Planting soil mix, typical.

Flare and roughen sides and edges of planting pit. Pit to be twice as wide as root ball diameter. Backfill pit with planting soil mix. Remove excess excavated material from site and dispose of legally.

Undisturbed subgrade, typical.



**5 PLANTING-ORNAMENTAL TREE**  
Scale: 1/2" = 1'-0"

Ornamental multi-stem tree with a minimum of four to five trunks. Do not prune, stake, or wrap unless directed to do so. If pruning is required do not cut trunks, only prune branches to encourage multi-stem form.

Remove any broken branches, tree bags, and ribbons upon approval of plant.

Avoid placing soil on top of the root ball. Maintain exposure of root flare. If root flare is not exposed, carefully remove excess soil. Set root ball so that base of root flare is 3" to 6" higher than adjacent finish grade (root flare is typically 6" below bud graft union on grafted trees).

Mulch, 3" deep in a 6' diameter ring. No mulch shall be placed within 6" of trunk.

Cut and remove all cords, twine, rope, wire, burlap, and plastic wrap from around top half of root ball and trunk. If root ball is enclosed in a wire basket remove top half of wire basket and fold remaining points down into the planting pit.

Prepare 3" minimum height saucer around pit for watering.

Finish grade.

Planting soil mix, typical.

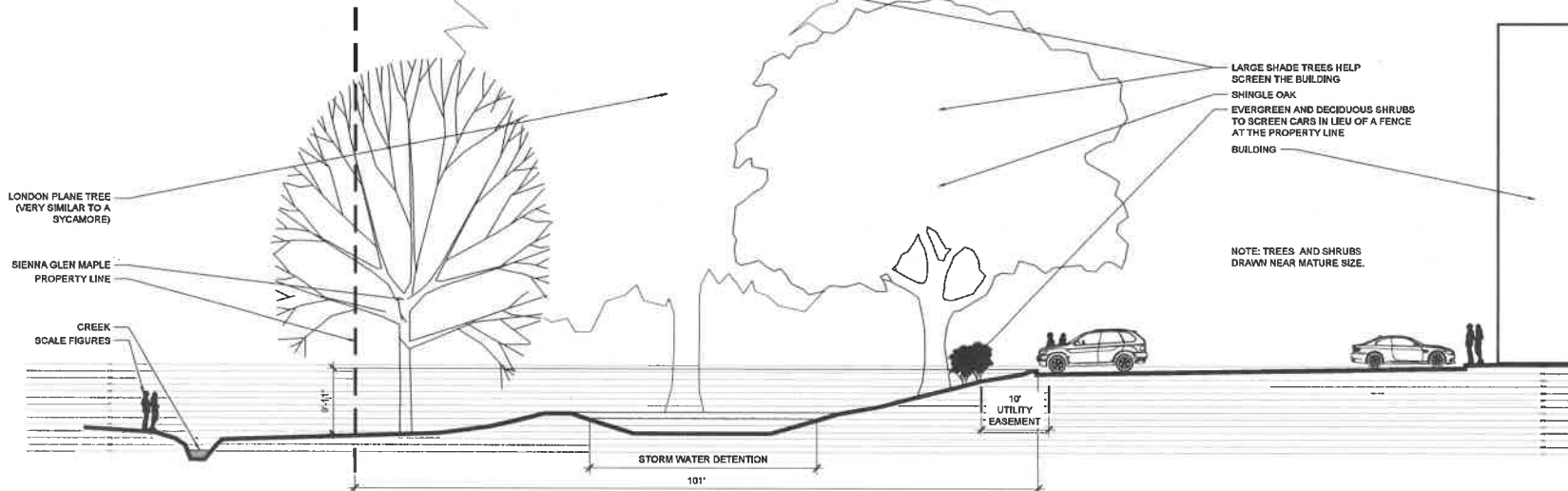
Flare and roughen sides and edges of planting pit. Pit to be twice as wide as root ball diameter. Backfill pit with planting soil mix. Remove excess excavated material from site and dispose of legally.

Undisturbed subgrade, typical.

## Material Lists

Description	Estimated Quantity	Unit of Measure	Size	Rootball Condition	Detention Basin Seed Mix
<b>Trees</b>	33				
Acer x freemont 'Jefferson' Autumn Blaze	9	EA	2.5" CAL	S/B	Permanent Grasses/Seed Mix
Acer x freemont 'Savannah'	4	EA	2.5" CAL	S/B	Common Name
Sienna Glen Maple	3	EA	2.5" CAL	S/B	Archibutyrus grandis
Celtis occidentalis	3	EA	2.5" CAL	S/B	Cornus canadensis
Hicory	2	EA	2.5" CAL	S/B	Cornus rugosipes
Gleditsia triacanthos f. inermis 'Skyline' Skyline	2	EA	2.5" CAL	S/B	Elmorus canadensis
Skyline Honeylocust	5	EA	2.5" CAL	S/B	Elymus virginicus
Gymnocladia dioica	4	EA	2.5" CAL	S/B	Juncus dudleyi
Kentucky Coffee Tree	4	EA	2.5" CAL	S/B	Panicum virginicum
Platanus x acerifolia	4	EA	2.5" CAL	S/B	Schizanthus scoparium
London Plane Tree	4	EA	2.5" CAL	S/B	Sorghastrum nutans
Quercus bicolor	4	EA	2.5" CAL	S/B	Platanus and Broadleaves
Single Oak	4	EA	2.5" CAL	S/B	Asian ornamental
Ulmus 'Marshall' ACCOLADE	4	EA	2.5" CAL	S/B	Arctostaphylos
Arctostaphylos	5	EA	6" HGT	S/B	Chamaecyparis thuyoides
Arctostaphylos	5	EA	6" HGT	S/B	Conocarpus
Syringa reticulata 'Honey Bell'	5	EA	6" HGT	S/B	Desmodium canadense
Ivory Silk Japanese Tree Lilac	5	EA	6" HGT	S/B	Erigeron philadelphicus
Deciduous Shrubs	60	EA	24" HGT	S/B	Echinacea purpurea
Physocarpus opulifolius 'Japan'	18	EA	24" HGT	S/B	Eupatorium perfoliatum
First Edition® Amber Jubilee™ Muskoka	42	EA	24" HGT	S/B	Echinacea purpurea
Gro-Low Fragrant Sunspice	20	EA	24" HGT	S/B	Eurochloa maculata
Viburnum dentatum 'Chickadee' BLUE MUFFIN	20	EA	24" HGT	S/B	Halenia autumnalis
Blue Muffin Arrowwood Viburnum	20	EA	24" HGT	S/B	Kuhnia repens/rostrata
Deciduous Shrubs	84	EA	24" WD	S/B	Alnus rugosa
Juniperus chinensis 'Katy's Compact'	23	EA	24" WD	S/B	Persea glabra
Katy's Compact Juniper	23	EA	24" WD	S/B	Pyracantha virginiana
Juniperus horizontalis 'Wilton'	23	EA	24" WD	S/B	Rubus idaeus
Blue Rug Juniper	23	EA	24" WD	S/B	Rubus idaeus
Juniperus x pfitzerana 'Sea Green'	18	EA	24" WD	S/B	Solidago canadensis
Sea Green Juniper	18	EA	24" WD	S/B	Solidago canadensis
Evergreen & Deciduous Shrubs	205	EA	12" GAL	Potted	Solidago canadensis
Hemerocallis 'Happy Returns'	120	EA	12" GAL	Potted	Solidago canadensis
Happy Returns Daylily	85	EA	12" GAL	Potted	Solidago canadensis
Hemerocallis 'Little Gem'	85	EA	12" GAL	Potted	Solidago canadensis
Happy Returns Daylily	85	EA	12" GAL	Potted	Solidago canadensis
Seeds	3600	S.Y.		Seed	
Turf Seed	1200	S.Y.		Seed	
Detention Basin Mix					

Note: The owner reserves the right to substitute cultivars, and species if necessary, at the time of construction due to plant availability.



1 WEST PROPERTY LINE SECTION  
Scale 1/8" = 1'-0"

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

SITE TO  
place  
INC.

Site to Place, Inc.

647 South Randall Road, Suite 100  
Bryn Mawr, PA 19003  
Phone: (484) 899-4444 Fax: (484) 899-4445  
www.sittoplaces.com

CONSULTANTS:

SEAL:

PREPARED FOR:

Wendler  
Engineering  
Services, Inc.  
Dover, PA

PROJECT NAME:

Isaac Executive  
Suites at 2675  
Sycamore Road  
Site and Landscape  
Improvements  
DEKAB, 2014

PROJECT NO.: 018-002

ISSUED FOR CITY REVIEW

DATE: 04/17/2020

REVISIONS:

DRAWN BY: BMS

CHECKED BY: BMS

Scale: AS NOTED



SHEET TITLE:

DETAILS

L-104





**Notes**

1. Base map information obtained from geomatic site, grading, and utility plans prepared by Wandler Engineering Services, Inc. dated 03/30/2020.

**PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION**

**SITE TO place INC.**  
 847 South Randall Road, #408  
 Elgin, Illinois 60123  
 Phone: (847) 899-8834 Fax: (847) 545-3055  
 www.sitetoplace.com

CONSULTANTS:

SCALE(S):

PREPARED FOR:  
**Wandler Engineering Services, Inc.**  
 Elgin, Illinois

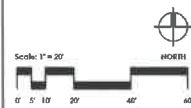
PROJECT NAME:  
**Isaac Executive Suites at 2675 Sycamore Road Site and Landscape Improvements**  
 Detab, Illinois

PROJECT NO.: 018-002  
 DRAWD: FOR CITY REVIEW  
 DATE: 04/17/2020

REVISIONS:

NO.	DESCRIPTION	DATE

DRAWN BY: BMS  
 CHECKED BY: BMS



SHEET TITLE:  
**RENDERED PLANTING PLAN**

**L-105**

©2020 Wandler Engineering Services, Inc.



## **Exhibit B**

### **Permitted Uses:**

Residential apartments not exceeding a total of 59 one-bedroom residential units, with the sizes of such units being in substantial compliance with the Floor Plans listed in Exhibit A.

Accessory uses to the residential apartments including a banquet/conference room, exercise room, lounge, warming kitchen, storage and manager's office.

There shall be no permitted commercial uses on the second or higher floors of the building. Within the non-residential portions of the first floor of the buildings and any portion of the basement of the building allocated to supporting such non-residential areas, the permitted commercial uses shall be exclusively limited to the following:

**Retail Uses.** Purely retail uses shall be permitted unless otherwise prohibited or limited. Minor, indoor incidental services shall be permitted as a component of retail uses.

**Restaurants and retail food establishments,** including fast-food, sit-down or other similar establishments. In association with such use, the Owner shall be permitted to establish and maintain outdoor seating areas in accordance with any approved Preliminary and Final Development Plans.

**Professional Service Offices,** such as medical offices for licensed doctors or chiropractors, urgent care, dental office, legal office, optometrist, accountant, or other similar professional service-based offices with the determination of what constitutes a similar professional office being made by the City Manager.

**Service facilities** including barber shops, beauty shops, nail salons, copying services, artists' studios, photographers, tailors, music and dance instruction, suntan parlors, travel agencies and other similar service facilities with determination of what constitutes a similar service facility being made by the City Manager.

### **Bulk Regulations/Landscaping/Parking:**

Setbacks, building lines, site coverage, building dimension limitations, height restrictions, parking, landscaping and other similar restrictions and regulations shall meet those standards as set forth in the "PD-C" District of the UDO.

### **Exhibit C - Staff Comments**

1. Prior to a building permit being issued for the site, the following items should be addressed to the satisfaction of City Staff.
  - a. Final Plat shall be submitted in a form that is in compliance with the UDO and the Preliminary/Final Plans and shall be approved by the City Manager with no further review by the Planning and Zoning Commission or City Council.
  - b. A photometric plan should be submitted meeting the requirements of Article 10.05 of the UDO.
  - c. Add the number of required parking space to the Cover Sheet (1 of 10) based upon the UDO requirements and as stated in the staff report.
  - d. Provide a detail of the trash enclosure meeting the requirements of the UDO.
  - e. A public sidewalk should be continued across the access drive onto Oakland Drive to a logical point of termini (with a potential pedestrian access to the proposed building) or provide an internal connection to the public sidewalk along Sycamore Road.
  - f. The watermain layout shall be approved by the City Engineer and Director of Utilities and Transportation.
2. The following comments from the Kishwaukee Water Reclamation District shall be addressed prior to a building permit being issued.
  - a. A sampling manhole is to be installed on the sanitary service.
  - b. Provide an estimated water usage so the KWRD can determine the applicable connection fee.
  - c. Provide plumbing drawings for the grease trap review.