



2020003407

DOUGLAS J. JOHNSON
RECORDER - DEKALB COUNTY, IL

RECORDED: 4/21/2020 08:48 AM

REC FEE: 75.00

STATE OF ILLINOIS)
COUNTY OF DEKALB) SS
CITY OF DEKALB)

PAGES: 17

POOR ORIGINAL OR CONTAINS COLORED INK
RECORDER NOT RESPONSIBLE
FOR REPRODUCTION

CERTIFICATION

I, **RUTH A. SCOTT**, am the duly qualified and appointed Executive Assistant of the City of DeKalb, DeKalb County, Illinois, as authorized by Local Ordinance 2019-059, and as such Executive Assistant, I maintain and am safe-keeper of the records and files of the Mayor and City Council of said City.

I do hereby certify that the attached hereto is a true and correct copy of:

ORDINANCE 2020-021

APPROVING A SPECIAL USE PERMIT FOR A DRIVE-THROUGH RESTAURANT WITH AN OUTDOOR SEATING AREA, AND APPROVING A FINAL PLAN FOR 2411 SYCAMORE ROAD, DEKALB, ILLINOIS (RAISING CANE'S CHICKEN FINGERS).

PASSED BY THE CITY COUNCIL of the City of DeKalb, Illinois, on the 23rd day of March 2020.

WITNESS my hand and the official seal of said City this 20th day of April 2020.



RUTH A. SCOTT, Executive Assistant

Prepared by and return to:

City of DeKalb
City Manager's Office
Attention: Ruth A. Scott
200 S. Fourth Street
DeKalb, Illinois 60115

17

APPROVING A SPECIAL USE PERMIT FOR A DRIVE-THROUGH RESTAURANT WITH AN OUTDOOR SEATING AREA, AND APPROVING A FINAL PLAN FOR 2411 SYCAMORE ROAD, DEKALB, ILLINOIS (RAISING CANE'S CHICKEN FINGERS).

WHEREAS, the City of DeKalb (the "City") is a home rule municipality with the power and authority conferred upon it by the Illinois Constitution; and,

WHEREAS, 2411 Sycamore LLC (herein referred to as "Petitioner"), has petitioned the City for approval of a special use permit, final plan and parking waiver to allow a drive-through and outdoor eating area to be located at 2411 Sycamore Road, DeKalb, Illinois (herein referred to as "Subject Property"),

WHEREAS, pursuant to proper legal notice, a public hearing was conducted by the City's Planning and Zoning Commission on March 4, 2020; and

WHEREAS, the City and Petitioner have conducted all required public hearings before the City's Planning and Zoning Commission for the special use permit, final plan and parking waiver for the Subject Property, and have otherwise satisfied all conditions precedent to the adoption of this Ordinance; and

WHEREAS, the City Council has reviewed and adopts the following findings of fact of the Planning and Zoning Commission of the City of DeKalb, finds that the proposed special use permit is in conformance with the applicable factors contained therein, and finds that approval of the special use permit, final plan and parking waiver for the Subject Property is in the public interest and promotes the public health, safety and welfare;

STANDARDS OF A SPECIAL USE – ARTICLE 14.03.05 (2) OF THE UNIFIED DEVELOPMENT ORDINANCE

1. The proposed special use complies with all provisions of the applicable district regulations.

The proposed drive-through and outdoor eating area will comply with all regulations of the Planned Development Ordinance governing the site and the Unified Development Ordinance (UDO). Adequate vehicle stacking is provided for the drive-through and a waiver on the parking is justified based upon the parking analysis provided by the applicant and the parking ratio of other existing Raising Cane's Restaurants.

2. The proposed special use will not be unreasonably detrimental to the value of other property in the neighborhood in which it is to be located or to the public welfare at large.

The proposed special use will not have a detrimental effect on the adjacent properties or land uses. The site has been zoned commercial since 1993. The proposed drive-through and outdoor eating area will operate in a manner that is not detrimental to the surrounding neighborhood. The subject site is in proximity to a variety of other commercial retail uses including restaurants, department stores, clothing stores and other services uses.

- 3. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.**

The granting of the special use will not dominate the immediate area and will not prevent development on the neighboring properties. The surrounding area is already developed with a variety of commercial uses. The proposed drive-through and outdoor eating area will operate in a manner that is not detrimental to the surrounding neighborhood.

- 4. Adequate utility, drainage and other such necessary facilities have been or will be provided.**

Adequate public services are already provided to the subject site. A Final Plan has been submitted that meets the requirements of the UDO regarding utilities and drainage. The proposed drive-through will accommodate five stacking spaces without interfering with the non-drive through traffic of the restaurant.

- 5. The proposed use, where such developments and uses are deemed consistent with good planning practice, or can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; shall in all other respects conform to the applicable regulations of the district in which it is located; and is deemed essential or desirable to preserve and promote the public health, safety and general welfare of the City of DeKalb.**

The proposed special use will not be detrimental to the permitted developments and uses on the site or to the surrounding area. The existing building previously contained a restaurant. The proposed special use will redevelop a lot that has not had a user since 2018 and will be an economic benefit to the Sycamore Road corridor. Development on this property would increase the City's real estate tax base, employment and retail sales taxes.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL of the City of DeKalb, Illinois as follows:

SECTION 1: The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

SECTION 2: This Ordinance is limited and restricted to the Subject Property described as follows:

LOT 1 IN OAKLAND PLACE RESUBDIVISION, BEING PART OF A RESUBDIVISION OF LOTS 7 AND 11 OF OAKLAND PLACE IN SECTION 12, TOWNSHIP 40 NORTH,

RANGE 4 EAST OF THE THIRD PRINCIPLE MERIDIAN IN THE CITY OF DEKALB, DEKALB COUNTY, ILLINOIS.

The property is commonly known as 2411 Sycamore Road, DeKalb, Illinois 60115, and has a Parcel Identification Number ("PIN") of 08-12-326-013.

SECTION 3: The City's corporate authorities grant a special use permit for the Subject Property for a drive-through and outdoor eating area, approval of a Final Plan per the plans dated 3-13-20 prepared by ADA Architects Inc, attached as Exhibit A and approval of a parking waiver to the UDO to reduce the number of required parking spaces from 76 to 46 per the Final Plan, attached as Exhibit A.

SECTION 4: All ordinances or portions thereof in conflict with this ordinance, including the prior versions of the ordinances included above, are hereby repealed.

SECTION 5: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and affect the same as if the invalid provision had not been a part of this Ordinance.

SECTION 6: That all provisions of the UDO shall remain in full force and effect and this Ordinance shall take effect upon its passage and approval according to Law.

SECTION 7: The City Clerk and/or Executive Assistant of the City of DeKalb, Illinois shall be authorized and directed to attest the Mayor's signature and record a copy of this Ordinance after its execution.

ADOPTED BY THE CITY COUNCIL of the City of DeKalb, Illinois at a Regular meeting thereof held on the 23rd day of March 2020 and approved by me as Mayor on the same day. Passed on First Reading by an 8-0 roll call vote. Aye: Morris, Finucane, Smith, Perkins, McAdams, Verbic, Faivre, Mayor Smith. Nay: None. Second Reading waived by an 8-0 roll call vote. Aye: Morris, Finucane, Smith, Perkins, McAdams, Verbic, Faivre, Mayor Smith. Nay: None.

ATTEST:


RUTH A. SCOTT, Executive Assistant


JERRY SMITH, Mayor



EXHIBIT A

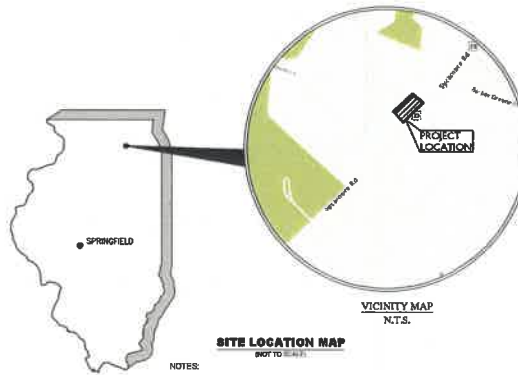
FINAL CIVIL CONSTRUCTION PLANS FOR



RESTAURANT # 538 SYCAMORE & BARBER GREENE CITY OF DEKALB DEKALB COUNTY, IL 60115

GOVERNMENT/UTILITY CONTACTS

PRINCIPAL PLANNER	CITY OF DEKALB 1216 MARKET STREET DEKALB, IL 60115
CONTACT: DAN OLSON	(815)748-2361
SANITARY	125HAWKREE WATER RECLAMATION DISTRICT
CONTACT: TBD	(815)788-3013
WATER/STORM	CITY OF DEKALB - ENGINEERING
CONTACT: ZAC GILL	(815)748-2333
POWER COMPANY	COMED
CONTACT: TBD	(630)876-7084
NATURAL GAS COMPANY	NICOR GAS
CONTACT: TBD	(888)642-6748
TELEPHONE COMPANY	FRONTIER COMMUNICATIONS
CONTACT: TBD	(815)748-4200



SITE LOCATION MAP
NOT TO SCALE

NOTES:

- IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
V0.0	ALTA SURVEY
C2.0	GENERAL NOTES
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	DEMOLITION PLAN
C5.0	SITE REMOTE PLAN
C5.1	DIMENSION CONTROL PLAN
C5.2	STRENGTH AND SIGNAGE PLAN
C6.0	GRADING PLAN
C7.0	UTILITY PLAN
C7.1	UTILITY PROFILES
C8.0	CONSTRUCTION DETAILS
C8.1	CONSTRUCTION DETAILS
C8.2	DEKALB SANITARY DISTRICT CONSTRUCTION DETAILS
C8.3	DEKALB SANITARY DISTRICT CONSTRUCTION DETAILS
C8.4	DEKALB SANITARY DISTRICT CONSTRUCTION DETAILS
C8.5	DEKALB SANITARY DISTRICT CONSTRUCTION DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS

PLANS SUBMITTAL/REVIEW LOG

NO.	DESCRIPTION	DATE
0	PERMIT SET	1/24/2020
1	CITY COMMENTS	3/13/2020

ENGINEER
Kimley-Horn
1001 WARRENVILLE ROAD
SUITE 300
LISLE, IL 60532
PH (800) 487-3440
CONTACT: JASON COOPER, P.E.

OWNER/DEVELOPER
Raising Cane's
RAISING CANES RESTAURANT, LLC
8800 BISHOP ROAD
PLANO, TX 75074
(972) 788-3384
CONTACT: LUVRON FOSTER

ARCHITECT
ADA
ARCHITECTS, INC.
17110 DETROIT AVENUE
LAKESIDE, OH 44137
(714) 524-1134
CONTACT: JEFF POLYNIESE

BENCHMARKS

REFERENCE BENCHMARKS:
LOCATED BY KIMLEY-HORN IN DEKALB COUNTY, AT THE POST OFFICE, 18 FEET EAST OF THE NORTH ENTRANCE, IN THE NORTHWEST CORNER OF THE STORE WATER TABLE BETWEEN THE TWO EAST STONE COLUMNS, APPROXIMATELY 4 FEET ABOVE THE WALK. A UNITED STATES GEOLOGICAL SURVEY STANDARD DISK, STAMPED ILL 38 A 1072.
DATUM: US STATE PLAN 1983 N. EAST
ELEVATION = 878.4
SITE BENCHMARKS:
SITE BENCHMARK #1: CONTINGENT BENCHMARK CROSSLING ON SOUTHEASTERN SIDE OF TRAFFIC ISLAND NEAR NORTHWEST CORNER OF SITE
ELEVATION = 878.4
SITE BENCHMARK #2: CUL-DE-SAC ON EAST SIDE OF TRAFFIC ISLAND NEAR NORTHWEST CORNER OF SITE
ELEVATION = 875.78



PROFESSIONAL ENGINEER'S CERTIFICATION

I, JASON C. COOPER, A LICENSED PROFESSIONAL ENGINEER OF KIMLEY-HORN AND ASSOCIATES, INC., HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE, WAS PREPARED ON BEHALF OF RAISING CANES, LLC BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

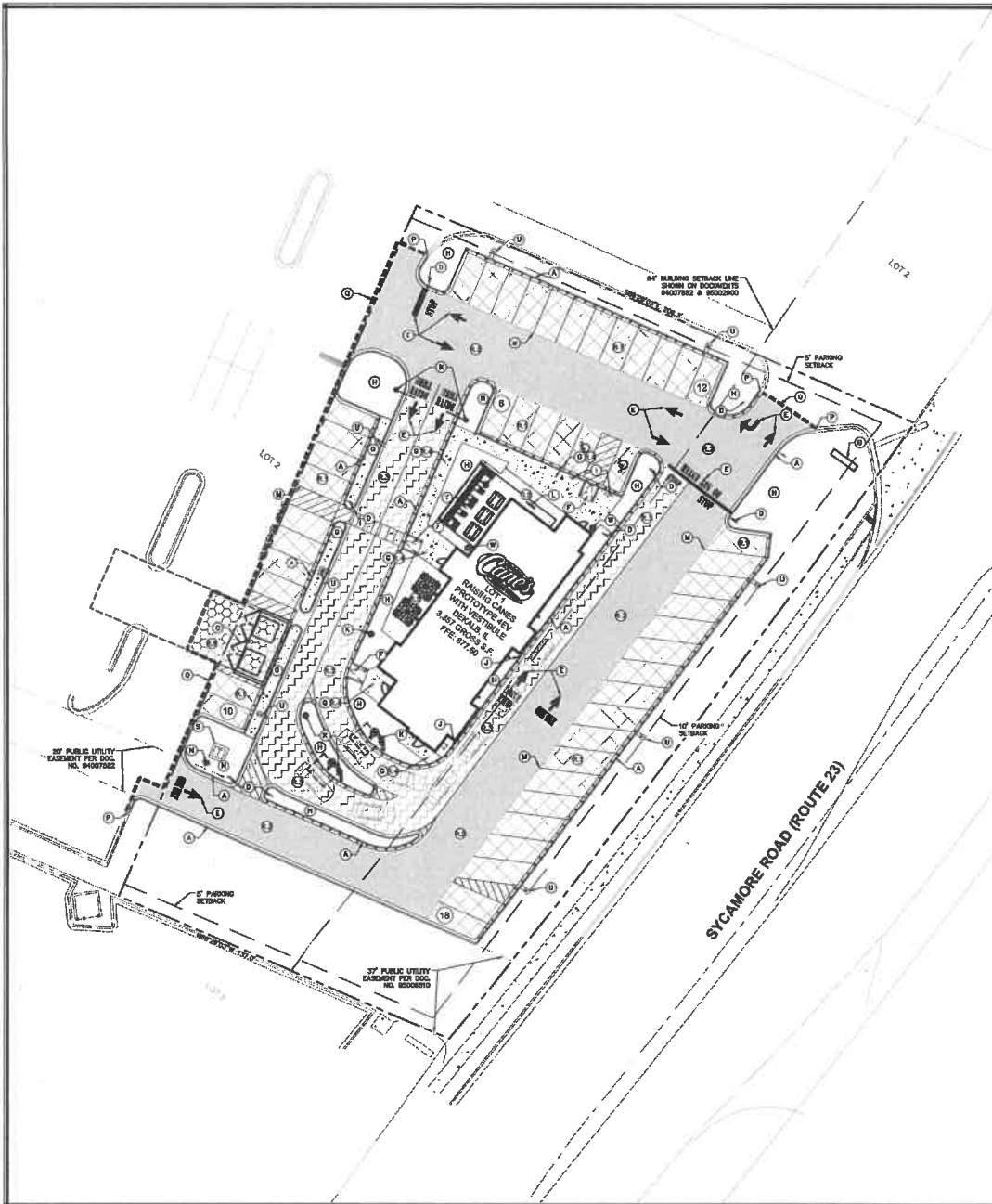
DATED THIS 12TH DAY OF MARCH, A.D., 2020.

IL LICENSED PROFESSIONAL ENGINEER 082-066282
MY LICENSE EXPIRES ON NOVEMBER 30, 2021.



Date of Signature: 3/13/2021

C1.0



SITE LEGEND

(A)	64' BARRIER CURB AND GUTTER. SEE CONSTRUCTION DETAILS.
(B)	PROPOSED MONUMENT SIGN TO BE INSTALLED ON EXISTING APPLICABLE SIGN FOUNDATION. REFER TO SIGN PLANS.
(C)	RECT. SIGN FOUNDATION. SEE ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, SCOLLARIES AND MASONRY.
(D)	SITE FUNCTIONAL SIGN. SEE SHEET C5.1 - STRIPING AND SIGNAGE PLAN.
(E)	DIRECTIONAL PAVEMENT MARKINGS. SEE SHEET C5.1 - STRIPING AND SIGNAGE PLAN.
(F)	BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS.
(G)	CONCRETE SIDEWALK. SEE CONSTRUCTION DETAILS.
(H)	LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS.
(I)	ACCESSIBLE PARKING SIGN.
(J)	4" PIPE SOLLAR. REFER TO ARCHITECTURAL PLANS.
(K)	CONCRETE SOLLAR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
(L)	WIRE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
(M)	PAVEMENT STRIPING. SEE SHEET C5.1 - STRIPING AND SIGNAGE PLAN.
(N)	PROPOSED FIRE HYDRANT. SEE SHEET C5.1 - UTILITY PLAN FOR DETAILS.
(O)	NOT USED.
(P)	18" PROPOSED CURB AND GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTINUOUS TRANSITIONS.
(Q)	BANDOUT LINE.
(R)	STANDARD DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
(S)	HEAVY DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
(T)	HEAVY DUTY INTERLOCKED CONCRETE PAVEMENT. SEE CONSTRUCTION DETAILS AND GENERAL NOTES.
(U)	STANDARD DUTY CONCRETE PAVEMENT. FOR SIDEWALKS. SEE CONSTRUCTION DETAILS.
(V)	PATIO AREA PAVING. SEE ARCHITECTURAL PLANS FOR DETAILS.
(W)	HEAVY DUTY INTERLOCKED CONCRETE PAVEMENT AT TRASH ENCLOSURE. SEE CONSTRUCTION DETAILS.
(X)	TRANS. CURB. SEE ELECTRICAL PLANS FOR DETAILS.
(Y)	NOT USED.
(Z)	LIGHT POLE. SEE LIGHTING PLANS FOR DETAILS.
(AA)	NOT USED.
(AB)	TRANS. SCEPTACLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
(AC)	NOT USED.
(AD)	COVERED PATIO. SEE ARCHITECTURAL PLANS FOR DETAILS.

SITE ANALYSIS TABLE

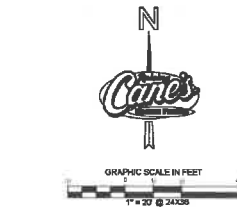
LOT 1 OF OAKLAND PLACE REDEVELOPMENT			
EXISTING ZONING	PD-C: PLANNED DEVELOPMENT - COMMERCIAL	PROPOSED USE	RESTAURANT (W/ DRIVE-THRU)
LOT AREA	49,328 SQ. FT. (1.13 AC)	SITE BUILDING AREA	3,357 SF
TOTAL PARKING	18 SPACES	REQUIRED	18 SPACES
ACCESSIBLE	2 SPACES	PROVIDED	2 SPACES

*FAST FOOD PARKING SPACE REQUIREMENTS: 1 SPACE FOR EVERY 3 SEATS PLUS 1 SPACE FOR EVERY DRIVE-THRU ON THE BUSINESS DIST. PLUS 3 STANDING SPACES FOR EACH DRIVE-THRU DRIVE-UP PICK-UP VEHICLE. A VARIANCE WILL BE REQUIRED.

SITE BENCHMARKS

SITE BENCHMARK #1
CONTROL POINT: SOUTH-OUT CROSS ON SOUTHEASTLY SIDE OF TRAFFIC ISLAND NEAR NORTHWEST CORNER OF SITE.
ELEVATION: 107.18

SITE BENCHMARK #2
CUT CROSS ON EAST SIDE OF TRAFFIC ISLAND NEAR SOUTHWEST CORNER OF SITE.
ELEVATION: 107.18



LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	BANDOUT LINE
---	PROPOSED CONCRETE CURB & GUTTER
---	EXISTING CURB & GUTTER
---	REVERSE PITCH CONCRETE CURB & GUTTER
---	PROPOSED PARKING COURT
---	STANDARD DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
---	HEAVY DUTY ASPHALT PAVEMENT. SEE CONSTRUCTION DETAILS.
---	HEAVY DUTY CONCRETE PAVEMENT. INTERLOCKED OR 8" GRANITE GROUND. SEE GENERAL NOTES - PAVING NOTES.
---	STANDARD DUTY CONCRETE FOR SIDEWALKS. SEE CONSTRUCTION DETAILS.
---	PATIO PAVEMENT. SEE ARCHITECTURAL PLANS.
---	HEAVY DUTY CONCRETE PAVEMENT AT TRASH ENCLOSURE. INTERLOCKED OR 8" GRANITE (FOR CURB) SEE CONSTRUCTION DETAILS.

SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND ORDINANCES AND DESIGN STANDARDS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BIDDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY'S REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BIDDING.
- EXISTING SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY COMPASS SURVEYING, LTD., DATED NOVEMBER 2015.
- TOTAL LAND AREA IS 1.13 ACRES.
- ALL PROPOSED PAVING IN CITY BLOCK AND EASEMENTS TO CONFORM TO CITY OF DEKALB STANDARDS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RISERS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
- THERE ARE EXISTING TREES ON SITE. REFER TO LANDSCAPE PLAN FOR TREES TO REMAIN.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT TO PROVIDE CLEAN SURFACE TO BE INTO PROPOSED PAVEMENT.

BENCHMARKS

SITE BENCHMARK #1
CONTROL POINT: SOUTH-OUT CROSS ON SOUTHEASTLY SIDE OF TRAFFIC ISLAND NEAR NORTHWEST CORNER OF SITE.
ELEVATION: 107.18

SITE BENCHMARK #2
CUT CROSS ON EAST SIDE OF TRAFFIC ISLAND NEAR SOUTHWEST CORNER OF SITE.
ELEVATION: 107.18



PROTOTYPE ISSUE DATE: 1/20/2019

ETOR:

RAISING CANE'S RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE PAVE-V
SCHEME
STORE #RC538



UPDATE EVERY ISSUANCE:
PERMIT SET

ENGINEER INFORMATION:

Kimley-Horn
3016 KIMLEY-HORN AVE. AND ARDEN AVE. N.E.
1000 WINDHOLM ROAD, SUITE 300, S. 80033
PHONE: 404-867-5000
WWW.KIMLEY-HORN.COM

KH JOB NO. 168418019

SHEET REVISIONS	
DATE	TYPE
1/24/2020	1
1/24/2020	2
1/24/2020	3
1/24/2020	4
1/24/2020	5
1/24/2020	6
1/24/2020	7
1/24/2020	8
1/24/2020	9
1/24/2020	10

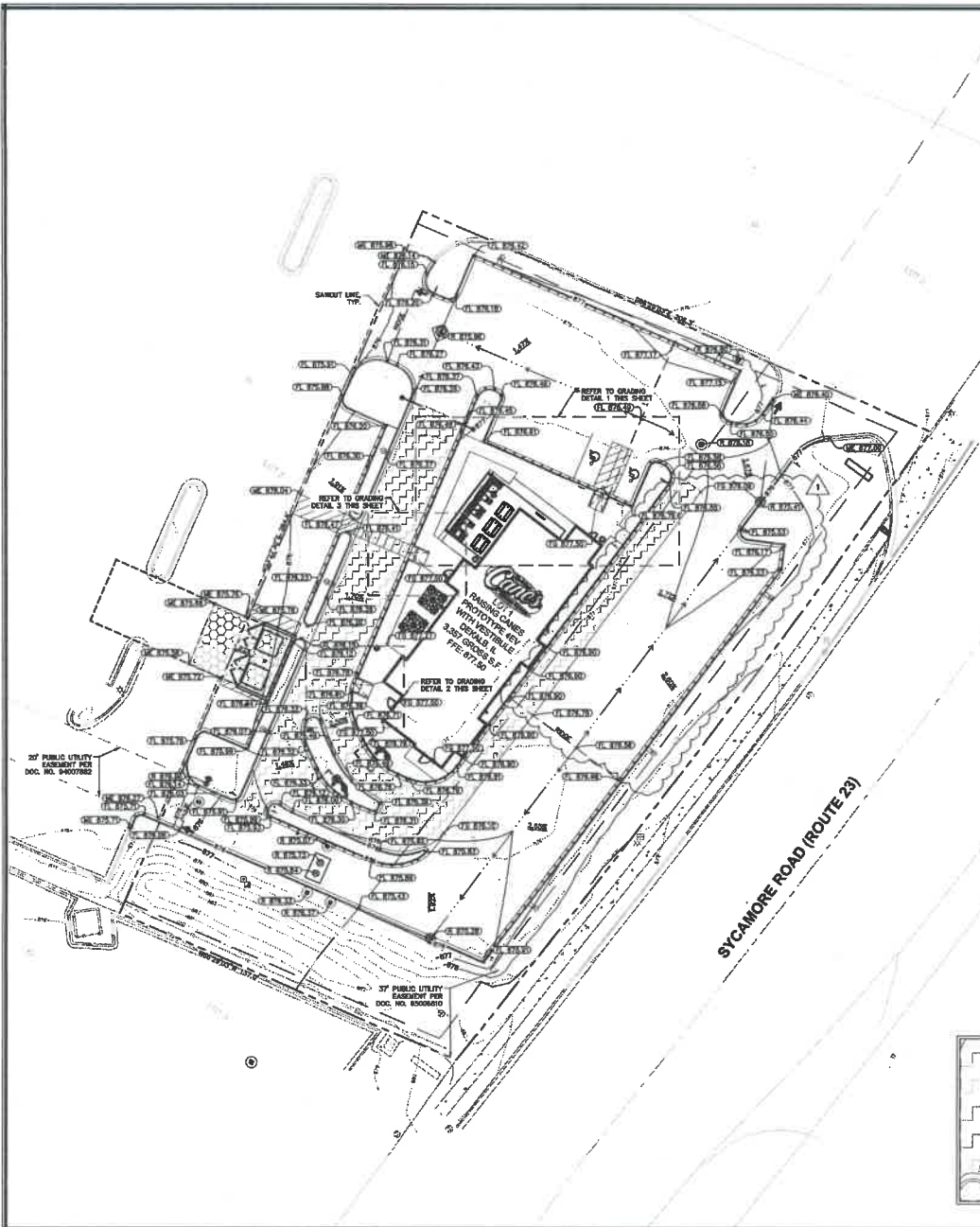
SITE KEYNOTE PLAN

DATE 1/24/2020

JOB NO. 19412

C5.0

SHEET NO.



GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY OF DEKALB STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FUNDING SHALL BE INITIATED UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERTINENT AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE RELIABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND ELEVATIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADES TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE. IF NECESSARY, UPON PRIOR APPROVAL OF ENGINEER, PAVING DETAIL SHALL FLUSH OUT AT ANY JUNCTURES WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE USED OR AS BASIS FOR EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY DIGGATION TO LOCATE EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH COULD BE AFFECTED BY THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1' FOOT.
7. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OF APPLICABLE STATE GENERAL N.P.D.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
8. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ACHIEVE A SMOOTH FIT AND CONTINUOUS DRIVE.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. FOR CURRENT TOPOGRAPHIC INFORMATION REFER TO SHEET 040101.01 SURVEY. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR OPTION, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
11. ALL UNPAVED AREAS SHALL BE GRASSED OR PLANTED WITH GRASS OR OTHER VEGETATION. CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DEPARTMENT OF TRANSPORTATION TO MAINTAIN A HEALTHY STAND OF VEGETATION IS OBTAINED.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
13. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUBGRADE PREPARATION REQUIREMENTS.
15. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLES, ETC. AS NECESSARY TO MATCH FINISHED GRADE. CONTRACTOR SHALL CONFIRM ALL EXISTING MANHOLES WITHIN PROJECT AREA ARE IN COMPLIANCE WITH CURRENT CITY OF DEKALB AND LOCAL COUNTY REQUIREMENTS. CONTRACTOR SHALL REPAIR/REPLACE STRUCTURES AS NECESSARY TO MEET CURRENT REQUIREMENTS.
16. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 8" TO THE ELEVATION SHOWN.
17. GRADING FOR ALL DRIVEWAYS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 1:12 UNLESS OTHERWISE NOTED. EXISTING GRADES SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE. EXISTING GRADES SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE. EXISTING GRADES SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE.
18. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
19. REFER TO BROOKS CONTROL PLAN FOR BROOKS CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
20. ALL VEGETATION SHALL BE CLEARED AND GRADINGS FOR ALL AREAS TO BE OBTAINED.
21. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

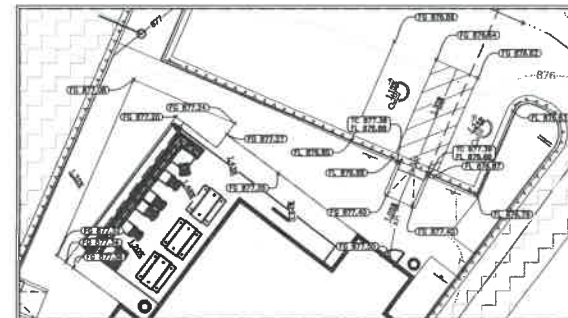


GRADING LEGEND

- PROPOSED PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- ACCESSIBLE ROUTE
- PROPOSED FLOW ARROW WITH SLOPE
- FLOW LINE
- TOP OF SLAB (DRAINAGE PAD)
- NATCH EXISTING ELEVATION
- FINISHED GRADE
- EXISTING GRADE
- FIN ELEVATION
- PROPOSED RIDGE
- SEWAGE LINE
- PROPOSED SHALE
- 100 YEAR OVERLAND FLOW ROUTE

UTILITY LEGEND

- EX. PERMANENT
- EX. SANITARY SEWER MANHOLE
- EX. STORM MANHOLE
- PROPOSED STORM STRUCTURE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM/SANITARY CLEANKOUT
- PROPOSED WATER STRUCTURE
- PROPOSED TRANSFORMER
- LIGHT POLE



GRADING DETAIL 1



GRADING DETAIL 2



GRADING DETAIL 3

Call Before You Dig

 7-800-892-0123



PROTOTYPE ISSUE DATE: 1/26/2018
 STORE:
RAISING CANE'S RESTAURANT
 2411 SYCAMORE RD
 DEKALB, IL 60115
 PROTOTYPE P&E-V
 STORE #FC638



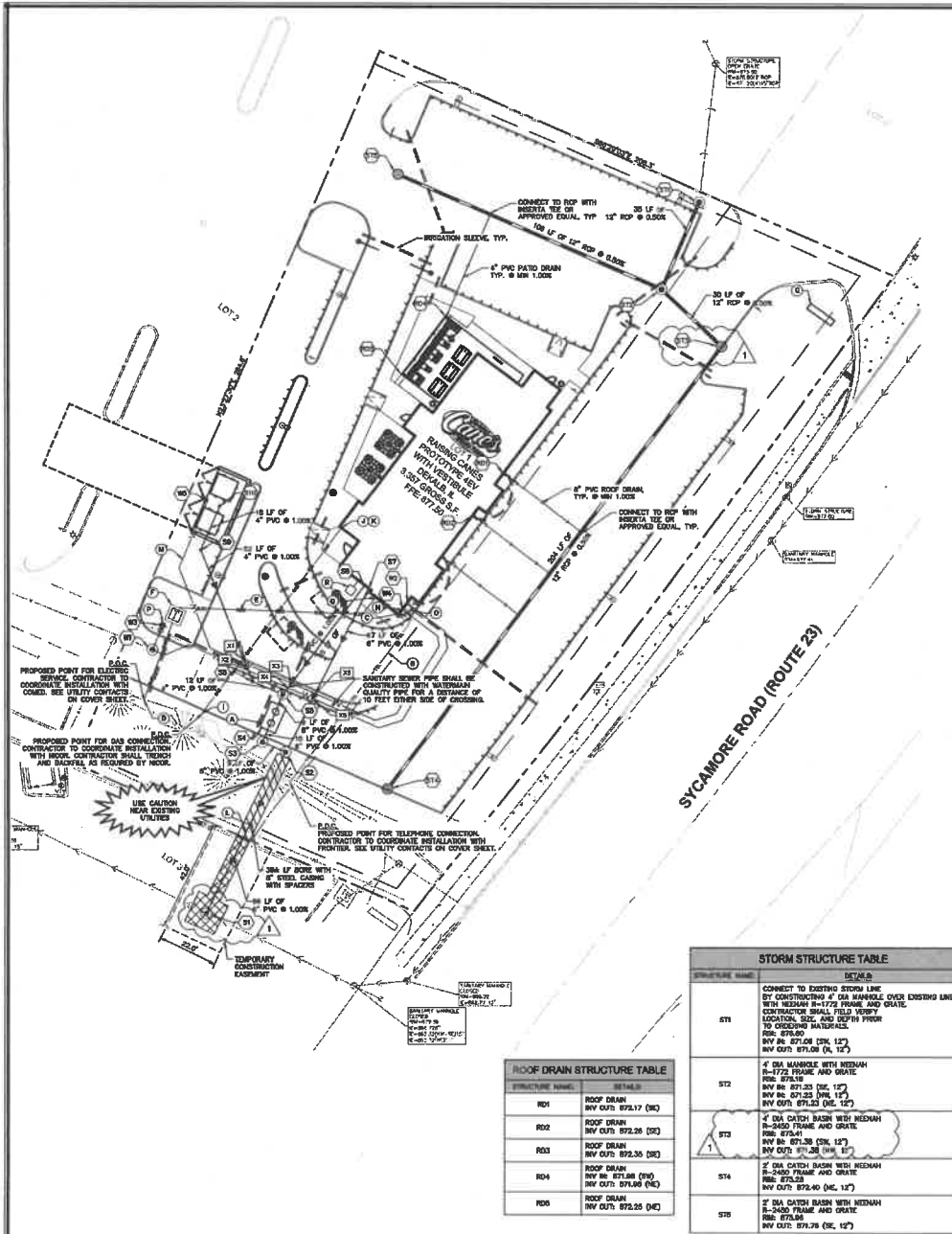
PROFESSIONAL OF RECORD:
 KIMLEY HORN
 UPDATE EVERY ISSUE:
PERMIT SET

DESIGNER INFORMATION:
Kimley Horn
 1000 WINDHURST ROAD, SUITE 200, N. BROAD
 PHOENIX, AZ 85004-1000
 WWW.KIMLEY-HORN.COM
 KH JOB NO. 168418019

SHEET REVISIONS		
#	DATE	TYPE
1	01/26/2018	PROJECT SET
2		OFF COMMENTS
3		
4		
5		
6		
7		
8		
9		

GRADING PLAN

DATE: 1/24/2020
 JOB NO.: 19412
C6.0
 SHEET NO.



- ### UTILITY KEYNOTE LEGEND
- ① PROPOSED GREASE TRAP, REFERENCE ARCHITECTURAL/MEP PLANS.
 - ② INSTALL TWO 4" PVC CONDUIT FOR TELEPHONE AND INTERNET.
 - ③ PROPOSED TELEPHONE AND INTERNET ENTRY.
 - ④ REFERENCE ARCHITECTURAL/MEP PLANS FOR CONNECTION.
 - ⑤ BEGIN UNDERGROUND ELECTRIC CONDUIT.
 - ⑥ INSTALL EACH 4" PVC FOR ELECTRIC.
 - ⑦ PROPOSED VALVE MOUNTED TRANSFORMER, CONCRETE PAD BY DEVELOPER, CONTRACTOR TO INSTALL, FOLLOW PER CODES REQUIREMENTS.
 - ⑧ PROPOSED ELECTRIC SERVICE ENTRY, REFERENCE ARCHITECTURAL PLANS.
 - ⑨ NOT USED.
 - ⑩ INSTALL ONE 2" PVC CONDUIT FOR GAS SERVICE LINE.
 - ⑪ GAS METER LOCATION.
 - ⑫ GAS ENTRY, REFERENCE ARCHITECTURAL PLANS FOR CONNECTION.
 - ⑬ SANITARY SEWER PIPE.
 - ⑭ PROPOSED 2" EACH WC WATER TO DUMPSTERS WITH AIR VALVES, REFERENCE MEP PLANS.
 - ⑮ PROPOSED 2" WATER LINE ENTRY, PROPOSED 2" DOMESTIC TAP AND VALVE, 10' OF WATER LINE TO BE LOCATED INSIDE BUILDING WATER METER AND BACKFLOW PREVENTER TO BE LOCATED INSIDE BUILDING, REFERENCE MEP PLANS FOR CONNECTION.
 - ⑯ PROPOSED FIRE DEPARTMENT CONNECTION, REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - ⑰ PROPOSED FIRE HYDRANT.
 - ⑱ PROPOSED MOUNTED SIGN TO BE INTERNALLY ILLUMINATED WITH ELECTRONIC MESSAGE BOARD, SEE NOTE 16.
 - ⑲ IRRIGATION LINE, CONNECT TO IRRIGATION BOX, BACKFLOW PREVENTER TO BE LOCATED INSIDE BUILDING.

BENCHMARKS

SPOTS 31 CHICAGO LOCAL COUNTY, AT THE POST OFFICE, 10 FEET EAST OF THE NORTH ENTRANCE, IN THE NORTHWEST CORNER OF THE STORE WATER TABLE BEHIND THE TWO EAST STONE COLUMNS, AND ADJUST 4 FT ABOVE THE WALL, A UNITED STATES GEOLOGICAL SURVEY STANDARD DISC, STAMPED IL 38 & 1063.

DATUM US STATE PLAIN 1985 & EAST ELEVATION = 878.84

SITE BENCHMARK #1
CONTROL POINT 800-OUT CROSS ON SOUTHEASTERN SIDE OF TRAFFIC ISLAND NEAR NORTHWEST CORNER OF SITE ELEVATION = 878.06

SITE BENCHMARK #2
OUT CROSS ON EAST SIDE OF TRAFFIC ISLAND NEAR SOUTHWEST CORNER OF SITE ELEVATION = 878.70

SANITARY STRUCTURE TABLE

STRUCTURE NAME	DETAILS
S1	CONNECTION TO EXISTING SANITARY SEWER BY CUTTING IN A 4" DIA. SHOP MANHOLE. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND DEPTH OF EXISTING SEWER PRIOR TO ORDERING MATERIALS. R/S: 878.54 INV IN: 878.16 (SL 12") INV IN: 878.08 (SL 12") INV OUT: 878.88 (SL 12")
S2	4" DIA. MANHOLE R/S: 878.32 INV IN: 878.32 (SL 8") INV IN: 878.83 (SL 8") INV OUT: 880.83 (SL 8")
S3	4" DIA. MANHOLE R/S: 878.32 INV IN: 878.01 (SL 8") INV OUT: 878.41 (SL 8")
S4	GREASE TRAP (REFER TO ARCH PLANS) R/S: 878.32 INV IN: 878.01 (SL 8") INV OUT: 878.84 (SL 8")
S5	4" DIA. MANHOLE R/S: 878.29 INV IN: 878.00 (SL 8") INV OUT: 878.90 (SL 8")
S6	SANITARY BUILDING CONNECTION FOR GREASE TRAP R/S: 878.80 INV OUT: 871.20 (SL 8")
S7	SANITARY BUILDING CONNECTION FOR WASTE R/S: 877.20 INV OUT: 871.20 (SL 8")
S8	4" CLEANOUT R/S: 878.80 INV IN: 871.20 (SL 8") INV OUT: 871.20 (SL 8")
S9	4" CLEANOUT R/S: 878.80 INV IN: 871.20 (SL 8") INV OUT: 871.20 (SL 8")
S10	4" PVC DRAIN WITH 2000-2005 ACCESS COVER AND GRATE (REFER TO ARCH PLANS FOR DETAILS) R/S: 878.80 INV OUT: 871.20 (SL 8")

WATER STRUCTURE TABLE

STRUCTURE NAME	DETAILS
W1	CONNECTION TO EXISTING WATER MAIN WITH 1/2" DIA. LINE PRESSURE CONNECTION AND VALVE IN VAULT PG ELEV: 878.08
W2	CONNECTION WITH BUILDING SPWT BETWEEN POTABLE AND THE ON OUTDOOR, WITH FROM BUILDING FURNISH TO ELEV 87.20
W3	PROPOSED FIRE HYDRANT PG ELEV: 878.82
W4	3/4" EACH 1/2" WC WATER TO DUMPSTER PG ELEV: 877.80
W5	POST HYDRANT REFER TO ARCH PLANS PG ELEV: 878.88

- ### UTILITY CROSSING LEGEND
- | SIZE | DEPTH | DEPTH |
|------|-------|--------|
| 3/4" | 8" | 877.10 |
| 1" | 8" | 869.69 |
| 1" | 8" | 871.15 |
| 1" | 8" | 868.63 |
| 3/4" | 8" | 871.04 |
| 3/4" | 8" | 868.54 |
| 3/4" | 8" | 871.03 |
| 3/4" | 8" | 868.52 |
| 3/4" | 8" | 871.05 |
| 3/4" | 8" | 868.55 |
| 3/4" | 8" | 871.03 |
| 3/4" | 8" | 868.53 |
- NOTE: WATER MAIN QUALITY PIPE IS TO BE USED TO CONNECT SEWER MAIN OR WATER MAIN IS TO BE RECAUST FOR 10 FT ON EACH SIDE OF A CROSSING WHERE THERE IS LESS THAN 18 INCHES SEPARATION OR WHEN SEWER MAIN RUNS UNDER WATER MAIN.

- ### UTILITY LEGEND
- ① WATER LINE
 - ② WATER VALVE MANHOLE
 - ③ SANITARY SEWER LINE
 - ④ SANITARY SEWER MANHOLE
 - ⑤ STORM DRAIN LINE
 - ⑥ STORM STRUCTURE
 - ⑦ GAS LINE
 - ⑧ FIBER OPTIC LINE
 - ⑨ UNDERGROUND TELEPHONE LINE
 - ⑩ PROPOSED UNDERGROUND ELECTRIC LINE
 - ⑪ PROPOSED GAS LINE
 - ⑫ PROPOSED STORM SEWER LINE
 - ⑬ PROPOSED ROOF DRAIN
 - ⑭ PROPOSED OPEN LID STORM STRUCTURE
 - ⑮ PROPOSED CLOSED LID STORM STRUCTURE
 - ⑯ PROPOSED SANITARY SEWER LINE
 - ⑰ PROPOSED SANITARY MANHOLE
 - ⑱ PROPOSED STORM/SANITARY CLEANOUT
 - ⑲ PROPOSED WATER LINE
 - ⑳ 3 - 4" CONDUITS FOR IRRIGATION / ELECTRICAL (REFER TO IRRIGATION PLANS)
 - ㉑ PROPOSED TRANSFORMER PAD, CONTRACTOR SHALL INSTALL PAD AND DOLLARS AS REQUIRED BY THE CITY OF DEKALB.
 - ㉒ PROPOSED SIGN, SEE NOTE 17.
 - ㉓ EXISTING SIGN/PAVING TO BE REMOVED AND REPLACED FOR CITY REQUIREMENTS.

- ### UTILITY NOTES
- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 - REFER TO CITY STANDARDS AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 - REFER TO ARCHITECTURAL PLANS FOR LOCATION AND SIZES OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
 - ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - ALL SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 FOR 28 EXCEPT FOR SANITARY SEWER THAT DISCHARGES INTO WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN DRAIN IS UTILIZED). PROVIDE 42" MINIMUM COVER.
 - WATER LINES SHALL BE AS FOLLOWS:
PRIVATE GAS/STAINLESS STEEL/BLACK IRON PIPE, CLASS B OR POLYETHYLENE GLASS REINFORCED PLASTIC PIPE (ASTM D-3034 AND AWWA C900)
PRIVATE 6 INCHES OR SMALLER TYPE "B" SOFT CORRELATION.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF DEKALB WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER LINE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO DELECT ELECTRIC, GAS, CABLE, AND TELEPHONE CONSULT AND PERIODS AS REQUIRED TO AVOID UTILITY CONFLICTS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHILE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO OBTAIN EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NEGOTIATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED NEW UTILITIES SHOWN ON THESE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TRENCHING, HYDRAULICS, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR PREVENTING REPAIR/REPLACE REQUIRED FOR ALL UTILITY INSTALLATIONS PER CITY OF DEKALB STANDARDS.
 - WATER TIGHT CONNECTION SHALL BE MADE USING A RESIDENT CONNECTOR SEAL BOOT PER ASTM C400.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6 FEET COVER ON ALL WATER LINES.
 - CONTRACTOR TO PROVIDE POWER TO MOUNTAIN SIGN, REFER TO ELECTRICAL SITE PLAN FOR SIZE AND TYPE.
 - UTILITIES TO BE CURED UNDER THREE ROOTS WITHIN DRIFILE.



CAUTION!
CONTRACTOR IS TO VERIFY PRELIMINARY AND EXIST LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

RAISING CANES RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE ME-V
SCHEME 1
STORE #WC539

ARCHITECTS, INC.
1770 SOUTH MAIN ST., SUITE 100
DEKALB, IL 60155
Phone (214) 921-4154
Fax (214) 921-4924
www.adesarchitects.com

PROFESSIONAL OF RECORD

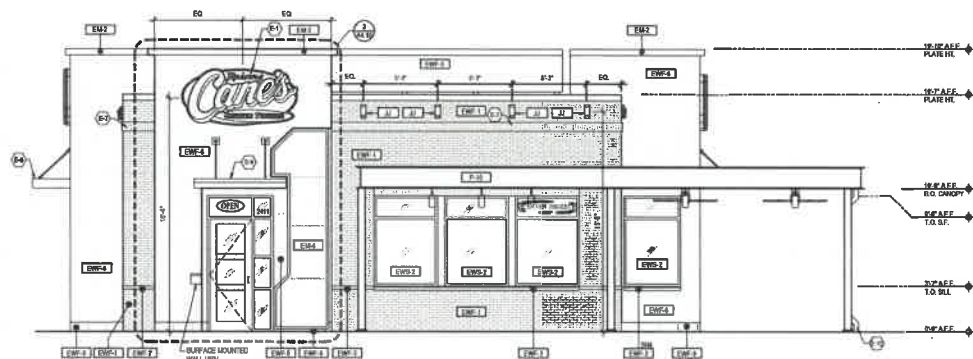
UPDATE EXISTING ISLANDS:
PERMIT SET

ENGINEER INFORMATION:
Kimley-Horn
300 HUNTERMAN AND ASSOCIATES, INC.
1000 HUNTERMAN RD., SUITE 100, N. DEKALB
PHONE: 402-340-1000
WWW.KIMLEY-HORN.COM

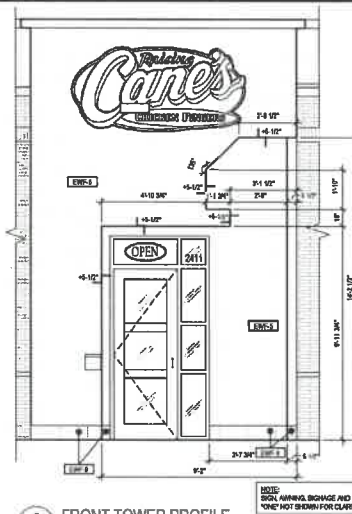
KH JOB NO. 168418019

UTILITY PLAN

DATE 1/24/2020
JOB NO. 19412
C7.0
SHEET NO.

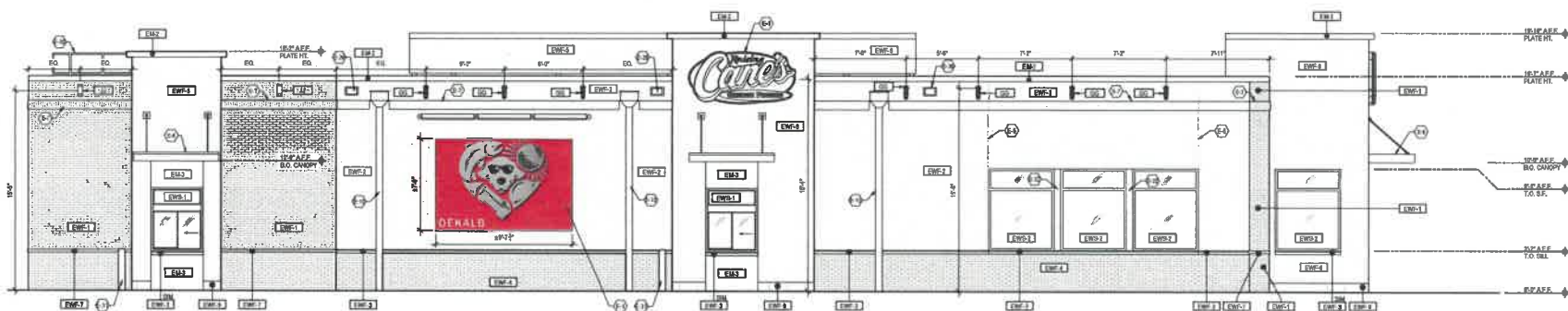


2 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT TOWER PROFILE
SCALE: 3/8" = 1'-0"

KEY	MATERIAL	MANUFACTURER	MODEL NO.	COLOR	FINISH	DESCRIPTION
EM1	STANDING SEAM ROOF	MANUFACTURER	TELELOCK PANEL	MATTE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA) STANDARD COLOR, GRACE ICE AND WATER SHIELD
EM2	METAL CAP FLASHING	MANUFACTURER	COMPANY	MATTE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR FINISH (24 GA) STANDARD COLOR
EM3	HOT ROLLED STEEL WITH CLEAR COAT FINISH	MANUFACTURER	CUSTOM FABRICATED	RAW STEEL	CLEAR	HOT ROLLED STEEL WITH CLEAR COAT FINISH
EM4	WELDED CARVED PANELS	MANUFACTURER	CUSTOM FABRICATED	RED-REGALMED	SMOOTH	1" SIGN TO BE APPLIED OVER EM1-5
EM5	BRICK VENEER	MANUFACTURER	NORMAN STANFORD	ALUMINUM RAIN SPOT	SMOOTH	1/2" SIGN TO BE APPLIED OVER EM1-5
EM6	BRICK VENEER	MANUFACTURER	12"	BRICK TANGALE	UNREPELABLE 12"	1/2" SIGN TO BE APPLIED OVER EM1-5
EM7	EXTERIOR CAST STONE LEDGE	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM8	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM9	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM10	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM11	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM12	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM13	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM14	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM15	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM16	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM17	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM18	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM19	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF
EM20	BRICK VENEER	MANUFACTURER	MODULAR	SMOOTH	SMOOTH	MORTAR BOLCHON COLOR, INC. 1/2" LIGHT BUFF



1 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND

- E-1 SIGN BY OWNER, PROVIDE BLOCKING AS REQUIRED (SEE FORM)
- E-2 NOT USED
- E-3 BRILLIANT BY OWNER
- E-4 CONTROL JOINT
- E-5 PRE-FABRICATED METAL CANOPY, C.G. TO PERMIT SEPARATELY
- E-6 1" PORTER OR BRICK BRND AS SHOWN
- E-7 METAL, CLUTTER & DOWNPOUT EM3
- E-8 ROOF SCUPPER & DOWNPOUT, DRY DRYET 1/2" @ DOWNPOUT EM1
- E-9 CAST STONE SILL
- E-10 UNITS METAL & CONCRETE, FINISH TO MATCH ADJACENT CLADDING MATERIAL
- E-11 BREAK METAL BETWEEN WINDOWS FINISHED TO MATCH STONEFRONT
- E-12 EXTERIOR SPEAKERS - MOUNTED AT 4'-0" A.P.U.
- E-13 SECONDARY EQUIPMENT
- E-14 1" SILLING WITH BLACK PLASTIC BLEEDER
- E-15 METAL COVER, COLOR TO MATCH WINDOW SYSTEM
- E-16 QUADRANT, SEE SHEET A4.10

NOTES

- 1 GENERAL NOTES
- 2 SIGNAGE TO BE APPROVED UNDER SEPARATE FILING (REFER SUBMITTAL)
- 3 CANOPY AND AWNINGS ARE REQUESTED AS DEFINED SUBMITTALS AS INDICATED ON SHEET PCS (SEE PERMIT CANOPY AND AWNINGS USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS)
- 4 VERIFY ROOF FLASH, LOOD SHED, FINISHED MATERIAL, WEATHERING VENDOR
- 5 SEALANT NOTES
- 6 1. PROVIDE SEALANT & BACKER RODS AT ALL DISJUNCTIONS UNIFORMALLY
- 7 2. TWO PART NON-TOXIC POLYURETHANE SEALANT BY ROMBERG/VALMOR/PROCECTA. CUSTOM COLOR TO MATCH ADJACENT WALL MATERIAL AT ALL DOOR FRAMES, STOREFRONT & WINDOWS. ALL PENETRATIONS AND DRIP TO MASONRY CONNECTIONS



STORE:
RAISING CANE'S RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE: PAE-V
SCHEME: A
RESTAURANT #RC538



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PERMIT SET

ENGINEER INFORMATION:

DATE: 1/24/20

JOB NO. 19412

SHEET NO.

EXTERIOR ELEVATIONS

DATE: 1/24/20

JOB NO. 19412

SHEET NO.

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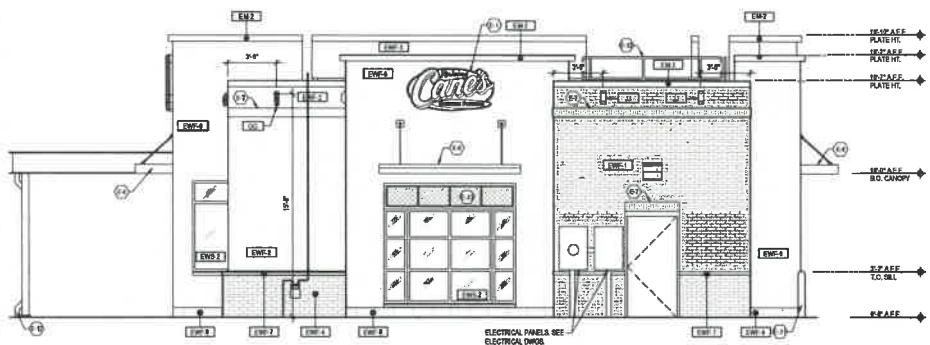
EXTERIOR ELEVATIONS

DATE: 1/24/20

JOB NO. 19412

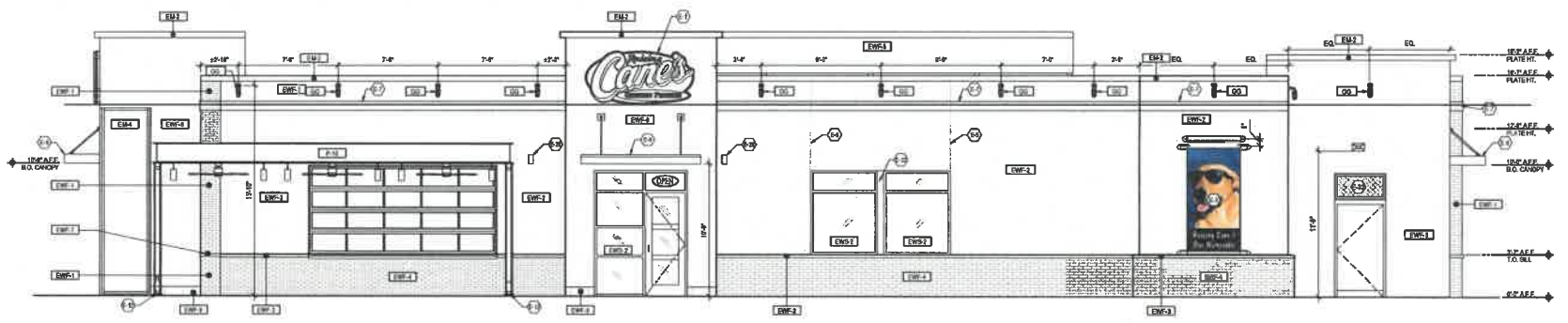
SHEET NO.

EXTERIOR ELEVATIONS



2
A4.20
SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

KEY	MATERIAL	MANUFACTURER	MODEL NO.	COLOR	FINISH	DESCRIPTION
EM1	STANDARD SHAM ROOF	REINFORCED MANUFACTURING COMPANY	TEE-LOCK PANEL	WHITE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR 500 (2X GA) STANDARD COLOR, CRACK ICE AND WATER WIELD
EM2	METAL CAP FLASHING	REINFORCED MANUFACTURING COMPANY		WHITE BLACK	PRE-FINISHED KYNAR 500	GALVANIZED STEEL SHEET W/ KYNAR 500 (2X GA) STANDARD COLOR
EM3	ROOF ROLLER STEEL WITH CLEAR COAT FINISH	REINFORCED MANUFACTURING COMPANY	CUSTOM FABRICATED	RAW STEEL	CLEAR	ROOF ROLLER STEEL WITH CLEAR COAT FINISH
EM4	REINFORCED CARBON FIBER PANELS	REINFORCED MANUFACTURING COMPANY	CUSTOM FABRICATED	WHITE (PETA NAME)	CLEAR	1/2" SIGN TO BE APPLIED OVER EM5
EM5	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	NORMAN VENEER	MEDIUM RANGE RICH BROWN	SMOOTH	5/8" X 3 1/2" X 11 1/2" 12 FLANKING BROWN REFER TO DETAIL. MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN. PROFILE: WEATHER-STRUCK JOINT ON EXTERIOR WALL.
EM6	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	12"	1992 TABLE	BRICK VENEER 12"	
EM7	EXTERIOR CART STONE LEDES	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM8	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM9	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM10	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM11	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM12	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM13	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM14	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM15	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM16	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM17	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM18	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM19	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM20	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM21	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM22	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM23	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM24	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM25	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM26	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM27	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM28	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM29	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM30	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM31	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM32	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM33	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM34	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
EM35	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
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EM42	BRICK VENEER	REINFORCED MANUFACTURING COMPANY	6443	ARCHITECTURAL GREY	SMOOTH	MORTAR: SOLOMON COLOR INC. 1/2" LIGHT BROWN
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1
A4.20
NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

KEYNOTE LEGEND (E)

- E-1: SHOWN BY OWNER. PROVIDE BLOCKING AS NOTED (4" X 4" X 8" DIA.)
- E-2: NOT USED
- E-3: SHALL BE BY OWNER
- E-4: CONTROL JOINT
- E-5: PRE-FABRICATED METAL CANOPY, G.C. TO PERMIT SEPARATELY
- E-6: 1/2" DRYWALL OR BRICK (BAND AS SHOWN)
- E-7: METAL, GUTTER & DOWNSPOUT EM-2
- E-8: ROOF SCUPPER & DOWNSPOUT, GUT DRYWALL EM-2
- E-9: CAST STONE BALL
- E-10: LINENY MATERIAL & CORNER, FINISH TO MATCH ADJACENT GLAZING MATERIAL
- E-11: BREAK METAL BETWEEN WINDOWS PRE-FABRICATED TO MATCH STOREFRONT
- E-12: EXTERIOR BRICKWORK - MOUNTED AT 1/4" X 1/4" J.W.T.
- E-13: SECONDARY SCUPPER
- E-14: 1/4" ROLLING WITH BLACK PLASTIC BELIEVE
- E-15: METAL LINENY, COLOR TO MATCH WINDOW SYSTEM
- E-16: QUADRANT, SEE SHEET A1.10

NOTES

GENERAL NOTES

1. (SHOWN TO BE APPROVED UNDER REPAIRMENT PLING (SHOWN) SUBMITTAL)
2. (SHOWN) IS AND WINDOW ARE REQUESTED AS DEFERRED SUBMITTALS AS INDICATED ON SHEET PCS G.C. TO PERMIT CANOPY AND WINDOW USING MANUFACTURER SPECIFICATIONS AND SHOP DRAWINGS
3. (SHOWN) OUTDOOR BREAKER LOCATIONS WITH L.T.
4. (SHOWN) ROOF FLASHING, LOAD BEARING, PRINTED METAL, W/ SHOWN VENDOR

DETAIL NOTES

1. PROVIDE SEALANT & BACKER RODS AT ALL DRAINAGE MATERIALS
2. TWO-PART POLYURETHANE SEALANT BY SCHWEDERSON BUILDING PRODUCTS, CUSTOM (SHOWN) TO MATCH ADJACENT WALL MATERIAL AT ALL DOOR FRAMES, STOREFRONT & WINDOWS, ALL PENETRATIONS AND JOINTS TO MATCH CONNECTIONS

Restaurant Support Office
6000 Bishop Road, Room 17, Natchez, MS 39120
Phone: 601-792-1100 Fax: 601-792-3101

STORE:

RAISING CANE'S RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE: PAE-A
SCHEME: A
RESTAURANT #RCS38

ADA ARCHITECTS, INC.
17700 Decker Avenue, Lakewood, Ohio 44117
Phone: (216) 231-0334 Fax: (216) 521-1424
www.adaarchitects.com

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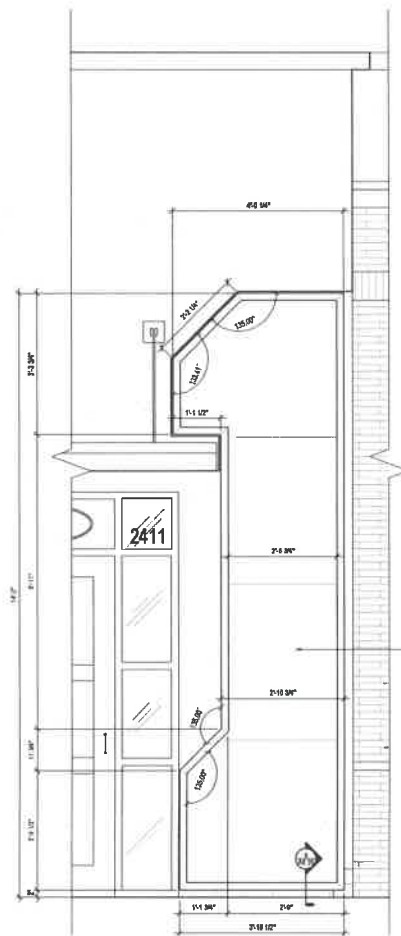
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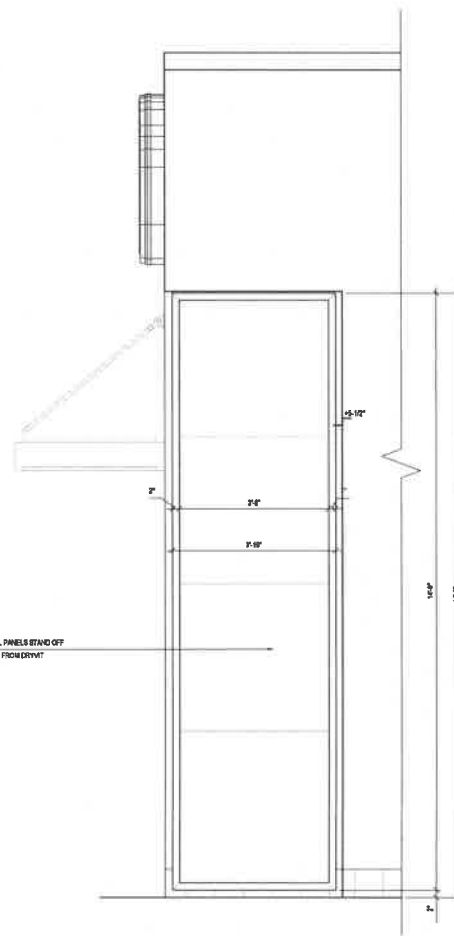
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EXTERIOR ELEVATIONS

DATE: 1/24/20
JOB NO: 19412
A4.20
SHEET NO.



1 TOWER ELEVATION
SCALE: 3/4"=1'-0"



2 TOWER ELEVATION
SCALE: 3/4"=1'-0"



STORE:
RAISING CANE'S
RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE: P4E-V
SCHEME: A
RESTAURANT #RC638



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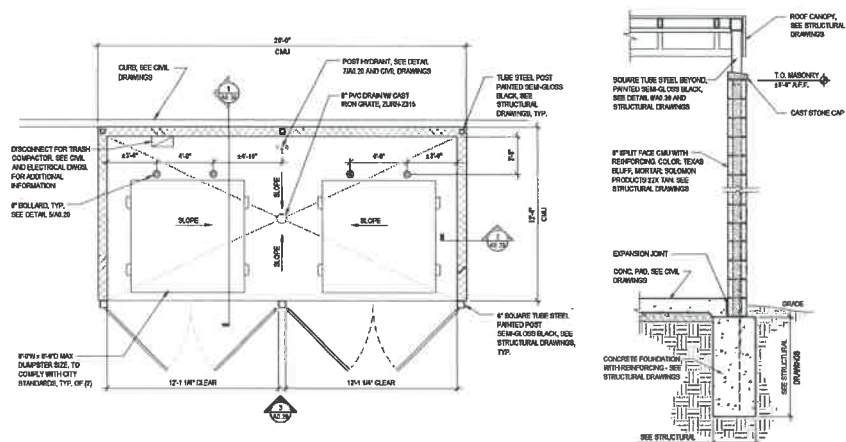
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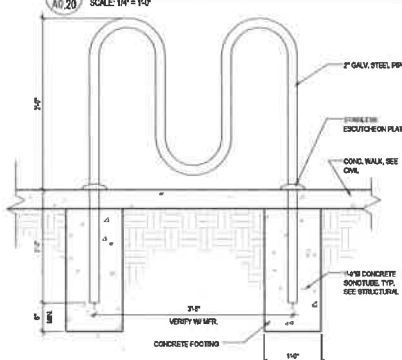
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EXTERIOR ELEVATIONS

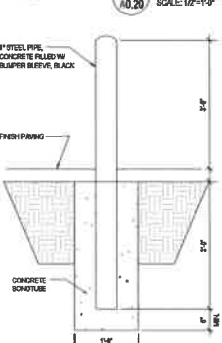
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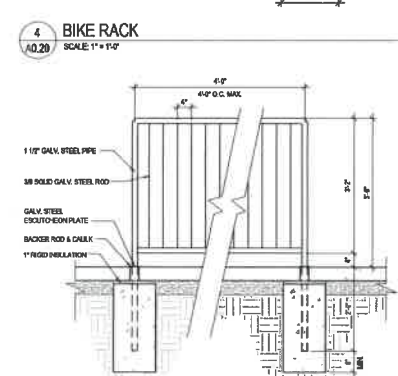
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SCALE: 1/4\"/>



2 DUMPSTER ENCLOSURE SECTION
SCALE: 1/2\"/>

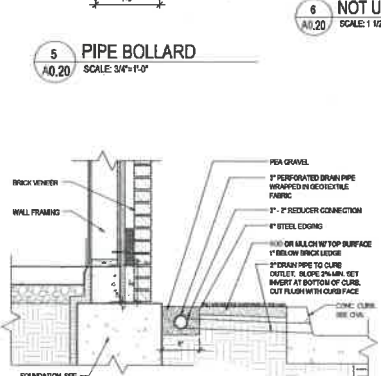


3 DUMPSTER ENCLOSURE W/ ROOF
SCALE: 1/4\"/>



4 BIKE RACK
SCALE: 1\"/>

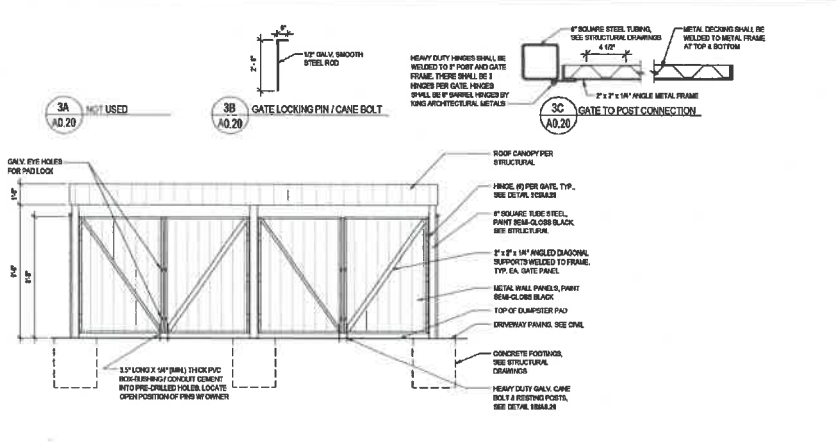
8 GUARDRAIL
SCALE: 3/4\"/>



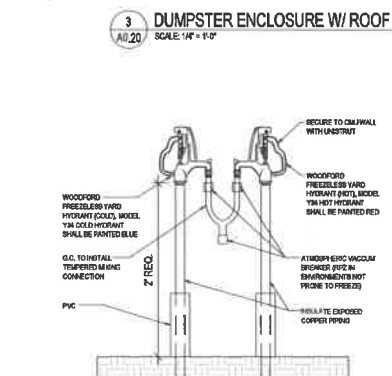
5 PIPE BOLLARD
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9 FRENCH DRAIN
SCALE: 1\"/>

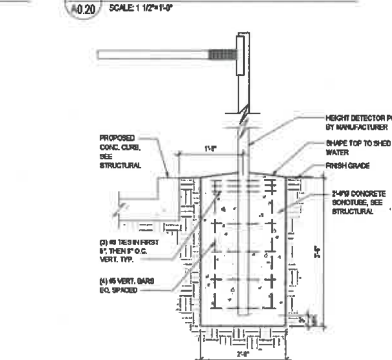
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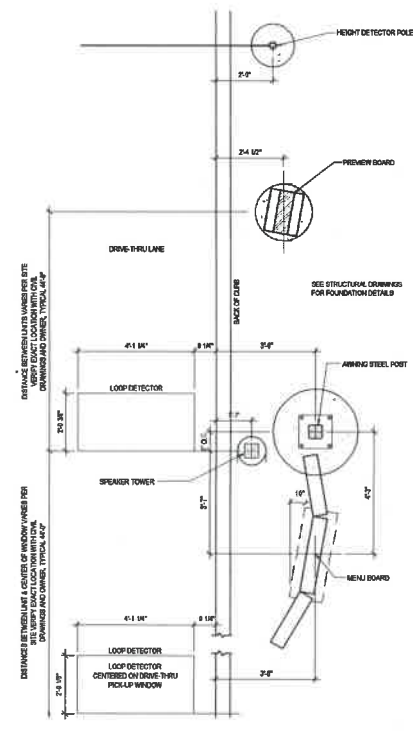
6 NOT USED
SCALE: 1 1/2\"/>



7 POST HYDRANT
SCALE: 1 1/2\"/>



10 HEIGHT DETECTOR POLE
SCALE: 3/4\"/>



11 DRIVE-THRU EQUIPMENT PLAN
SCALE: 1/2\"/>



RAISING CANE'S
RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE: P4E-V
SCHEME: A
RESTAURANT #RCS38



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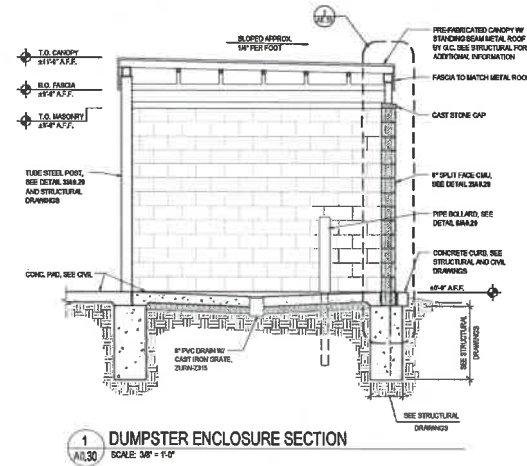
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1/24/20	8. DATE
1/24/20	9. DATE
1/24/20	10. DATE
1/24/20	11. DATE
1/24/20	12. DATE

SITE DETAILS

DATE 1/24/20
JOB NO. 19412

A0.20

SHEET NO.



Restaurant Support Office
6000 Bishop Road, P.O. Box 17, 75024
Tel: 972-792-3100 Fax: 972-792-3101

STORE:
**RAISING CANE'S
RESTAURANT**
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE: P4E-V
SCHEME: A
RESTAURANT #RCS538



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PERMIT SET

ENCLOSURE INFORMATION:



SHEET REVISIONS	
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4	1/24/20
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6	1/24/20
7	1/24/20
8	1/24/20
9	1/24/20

SITE DETAILS

DATE: 1/24/20
JOB NO: 19412

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SHEET NO.



CAUTION:
CONTRACTOR IS TO
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LOCATION OF ALL UT
PRIOR TO CONSTRU

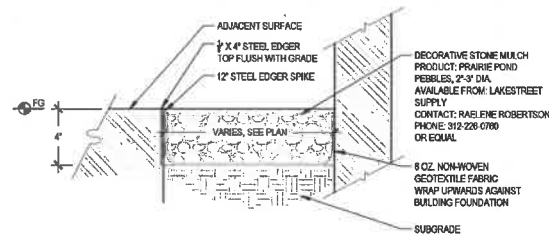
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LANDSCAPE NOTES

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4. ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5. ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
7. PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
8. SEEDSOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEEDSOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEEDSOD MIXES.
9. CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A GRADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDSOD AREAS. A GRADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
10. WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS.
11. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
12. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
13. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
14. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
15. THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

1 LANDSCAPE NOTES

NTS

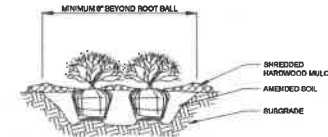
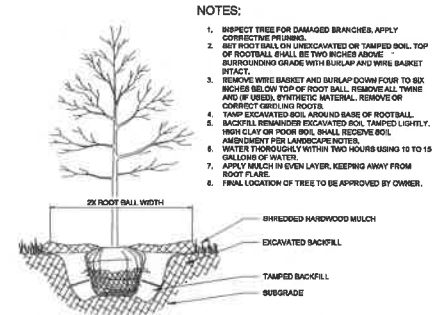


2 DECORATIVE STONE MULCH

3" = 1'-0"

3 TREE PLANTING

NTS



NOTES:

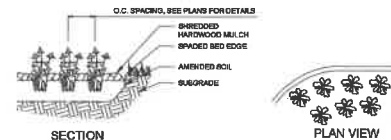
1. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DO A DEEPER PIT ONLY FOR THOSE SHRUBS.
3. REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TRUNK AND IF USED, ETHNETIC MATERIAL, REMOVE FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4. REMOVE OR CORRECT CIRCLING ROOTS.
5. PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.

4 SHRUB PLANTING

NTS

NOTES:

1. EXCAVATE PLANTING BED.
2. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED.
3. REMOVE CONTAINER, SCORE SOIL, WASH TO REDUCED AND PREVENT CIRCLING ROOTS, CORRECT CIRCLING ROOTS.
4. PLANT MATERIAL SHALL BE LAYED OUT BY FOLLOWING THE BED EDGE, WORKING TOWARDS THE CENTER OF THE BED USING TRIANGULAR (STAGGERED) SPACING AS PLANNED.
5. PLUMB AND BACKFILL WITH PLANTING MIX AS SPECIFIED IN LANDSCAPE NOTES.
6. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR PERENNIALS/ROUND COVER EXTEND TO ALL LIMITS OF PLANTING BED. SEE PLANS FOR BED LAYOUTS.
7. SPACING TO BE AS SPECIFIED IN THE PLANT LIST. PERENNIALS SHALL BE PLACED WITH THEIR CENTER 24" FROM EDGE OF BED.

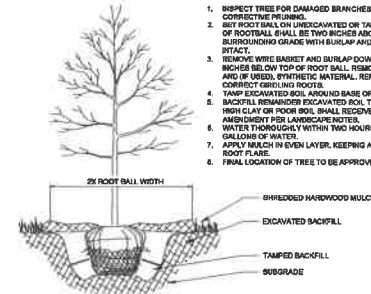


5 PERENNIAL PLANTING

NTS

NOTES:

1. INSPECT TREE FOR DAMAGED BRANCHES. APPLY CORRECTIVE PRUNING.
2. SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
3. REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWIGS AND IF USED, ETHNETIC MATERIAL, REMOVE OR CORRECT CIRCLING ROOTS.
4. TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
5. BACKFILL REMAINING EXCAVATED SOIL. TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL ADJUSTMENT PER LANDSCAPE NOTES.
6. WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
7. APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
8. FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



PROTOTYPE ISSUE DATE: 1/20/2019

STORE:

RAISING CANES RESTAURANT
2411 SYCAMORE RD
DEKALB, IL 60115
PROTOTYPE: P4E-V
SCHEME: A
STORE #FC538



UPDATE EVERY ISSUANCE
PERMIT SET

ENGINEER INFORMATION:

Kimley-Horn
100 NATIONAL ROAD, SUITE 200, N. BOSTON
PHOTO: 1-800-441-8880
WWW.KH-KH.COM

KH JOB NO. 168418019

#	DATE	TYPE
1	0/0/00	POWER SET
2		
3		
4		
5		
6		
7		
8		
9		

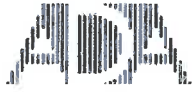
LANDSCAPE DETAILS

DATE: 1/24/2020

JOB NO. 19412

L2.0

SHEET NO.



ARCHITECTS, INC.

17710 DETROIT AVENUE
LAKEWOOD, OHIO 44107

(216) 521-5134

FAX (216) 521-4824

March 20, 2020

**The Honorable Jerry Smith
Mayor, City of Dekalb
City Council 200
S. 4th street
Dekalb, IL 60115**

REGARDING:

**Raising Cane's Chicken Fingers
2411 Sycamore Road
DeKalb, IL**

Dear Mayor Smith and City Council:

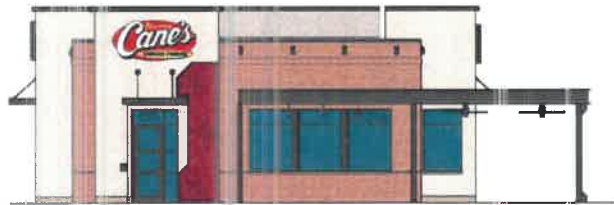
The Dekalb Planning and Zoning Commission unanimously approved on March 4, 2020, the Raising Cane's Chicken Fingers request for a Special Use Permit for Raising Cane's Chicken Fingers located at 2411 Sycamore Road, Dekalb, IL 60115. The Raising Cane's Chicken Fingers respectfully requests the City Council waive the second reading requirements and approve the Special Use Permit at the March 23, 2020 City Council Meeting.

We appreciate your consideration of this request. If you have any questions or comments, please do not hesitate to contact me.

Respectfully Submitted,

Jeff Gould

Jeff Gould
ADA Architects, Inc.



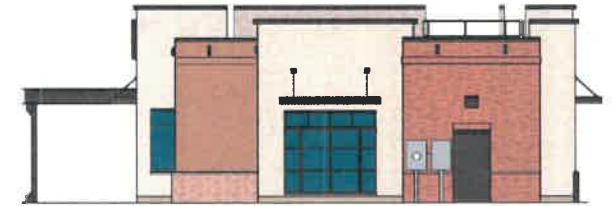
FRONT ELEVATION



DRIVE THRU ELEVATION



SIDE ELEVATION



REAR ELEVATION

MATERIAL FINISHES

EM-3



CARBON GRADE FINISH: RAW
STEEL w/ EXPOSED WELDS
CLEAR COAT FINISH

EM-1



RECLAIMED METAL PANEL:
VINTAGE CAR HOOD OCCURS
AT FACE (9' 11" ONLY)

EFW-1



BELDEN NORMAN BRICK: MASONRY
MEDIUM RANGE, SMOOTH, IRON
SPOT, MORTAR TO MATCH
SOLOMON PRODUCTS 10 H,
WEATHERED HORIZONTAL STRIKE,
VERTICAL JOINTS ARE FLUSH

EFW-2



"382 TAMALE" DRYVIT
COMMERCIAL CEMENT
PLASTER

EFW-4



BORAL "ALAMO" MODULAR
BRICK, MORTAR TO MATCH
SOLOMON PRODUCTS 10 H,
LIGHT BUFF BACK RUB FINISH

EFW-5



"132 MOUNTAIN FOG" DRYVIT
COMMERCIAL CEMENT
PLASTER

EFW-6



"166 OYSTER SHELL" DRYVIT
COMMERCIAL CEMENT
PLASTER

EFW-2



ALUMINUM STOREFRONT SYSTEM
FINISH: BLACK

EFW-8



PREMIER MASONRY VENEER
DUAL ULTRA BURNISHED,
DUSK, SMOOTH

EXTERIOR ELEVATIONS

RC538 Dekalb, IL (SYCAMORE & BARBER GREEN) FEBRUARY 11, 2020

EXTERIOR ELEVATIONS



**COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT
February 28, 2020**

TO: DeKalb Planning and Zoning Commission

FROM: Dan Olson, Principal Planner

RE: Approval of a special use permit for a drive-through, outdoor eating area and Final Plan - 2411 Sycamore Road (Raising Cane's Chicken Fingers Restaurant)

I. GENERAL INFORMATION

- | | | |
|----|---------------------------------|--|
| A. | Purpose | Approval of a special use permit to allow for construction of new Raising Cane's Chicken Fingers restaurant with a drive-through and outdoor eating area. |
| B. | Location/Size | 2411 Sycamore Road/1.13 acres |
| C. | Petitioner | Jeff Gould with ADA Architects on behalf of Raising Cane's Chicken Fingers |
| D. | Existing Zoning | "PD-C" Planned Development - Commercial |
| E. | Existing Land Use | Vacant former restaurant (Applebee's) |
| F. | Proposed Land Use | Raising Cane's Chicken Fingers Restaurant with drive-through and outdoor eating area |
| G. | Surrounding Zoning and Land Use | North: PD-C; various commercial uses
South: PD-C; various commercial uses
East: PD-C; various commercial uses
West: PD-C; various commercial uses |
| H. | Comprehensive Plan Designation | Commercial |



II. BACKGROUND AND ANALYSIS

The applicant is proposing to demolish the former Applebee's Restaurant building at 2411 Sycamore Road and construct a new 3,357 sq. ft. Raising Cane's Chicken Fingers Restaurant with a drive-through and outdoor eating area. Raising Cane's is a fast-food restaurant chain specializing in chicken fingers that is based out of Baton Rouge, Louisiana. The company has about 450 restaurants in 27 states. They have approximately 10 locations in the Chicago area with the closest ones along Randall Road in Batavia and Rt. 59 in Naperville.

The subject property is 1.13 acres and is Lot 1 in the Oakland Place Resubdivision, which is part of the Oakland Place Planned Development that was approved initially in 1993. The Planned Development Ordinance governing the site required a Final Plan be approved through the Planning and Zoning Commission and City Council prior to issuance of any building permit for the various lots in the subdivision. Applebee's closed in June 2018 and has remained vacant since that time.

The proposed restaurant will be 3,357 sq. f.t and will contain 95 seats inside and 26 outdoor seats. Access points to the site will be at the same locations as what the former Applebee's had. Access will be provided at the northeast, northwest and southwest portions of the site but will include additional restrictions for circulation due to the drive-through. The drive-through will have two lanes for ordering and will narrow down to one lane as customers enter the pick-up window. Cross access agreements exist the shopping center to the west to allow access to the parking along the west side of the site and for the proposed garbage dumpster pick-up area. The existing landscaping will be removed along Sycamore Road and the north side of the site and will be replaced with new plantings that meet the requirements of the UDO. The few plantings along the west side of the site will be removed and the existing vegetation/berm along the south end of the property will be maintained. The UDO requires five stacking spaces for drive-throughs and the proposed layout will accommodate the required stacking spaces without interfering with the non-drive through traffic of the restaurant. The proposed building will include brick veneer and dryvit in earth tone colors, with some wall art similar to their other locations. Roof-top mechanical equipment will be screened per the UDO requirements. The Final Plan has been reviewed by staff and comments are included in Exhibit B. None of the comments are major and once addressed would not alter the layout of the site. It is recommended the comment be addressed prior to final City Council action.

The applicant is requesting a waiver to the parking requirements. The site plan shows 46 parking spaces and two handicap accessible spaces. Per the UDO regulations for fast food restaurants, 76 parking spaces are required based up the formula of one parking space for every two seats (121 total seats) plus one space for every employee on the maximum shift (15 employees on max. shift). The applicant has provided a traffic and parking analysis, which indicates the parking demand at another Raising Cane's location in Oak Lawn (3,575 sq. ft.) showed a peak demand of 26 parking spaces although the restaurant had 41 spaces.



The applicant also provided the parking information for their restaurants in Batavia and Naperville.

- Batavia – Randall Road
 - Gross Building Area: 3,343
 - Parking Required per Code: 33
 - Parking Provided/Approved by City: 28
 - Parking Ratio: 8.38 / 1,000 SF
- Naperville – Rt. 59
 - Gross Building Area: 3,745 SF
 - Parking Required per Code: 63
 - Parking Provided/Approved by City: 36
 - Parking Ratio: 9.61 / 1,000 SF
- DeKalb – Proposed
 - Gross Building Area: 3,357 SF
 - Parking Required per Code: 76
 - Parking Provided: 46 (plus 2 handicap spaces)
 - Parking Ratio: 14.29 / 1,000 SF

The number of parking spaces provided at the Batavia and Naperville locations are less than what is proposed for the DeKalb location. For almost the same size restaurant the number of parking spaces provided at the Batavia location is 18 fewer spaces than DeKalb. The number of spaces provided at the Naperville location is 12 spaces less than DeKalb although the restaurant is about 390 sq. ft. larger. Basing the parking formula for fast food restaurants on the number of employees and the number of seats is probably not the most accurate way to judge the demand for parking, particularly for restaurants that rely heavily on their drive-through traffic. Raising Cane's estimates that 80% of their business is generated by their drive-through traffic. Based on the parking demand data from Raising Cane's locations in Oak Lawn, Batavia and Naperville, staff would support the waiver on the parking requirements. It should be noted there is a cross parking agreement for the subdivision and there is additional parking to the west and north of the site. The applicant had originally requested a waiver for the signage; however, it is no longer needed after they recalculated the size of the proposed walls signs and they are in compliance with the UDO.

III. STANDARDS OF A SPECIAL USE

1. The proposed special use complies with all provisions of the applicable district regulations.

The proposed drive-through and outdoor eating area will comply with all regulations of the Planned Development Ordinance governing the site and the Unified Development Ordinance (UDO). Adequate vehicle stacking is provided for the drive-through and a waiver on the parking is justified based upon the parking analysis provided by the applicant and the parking ratio of other



existing Raising Cane's Restaurants.

2. The proposed special use will not be unreasonably detrimental to the value of other property in the neighborhood in which it is to be located or to the public welfare at large.

The proposed special use will not have a detrimental effect on the adjacent properties or land uses. The site has been zoned commercial since 1993. The proposed drive-through and outdoor eating area will operate in a manner that is not detrimental to the surrounding neighborhood. The subject site is in proximity to a variety of other commercial retail uses including restaurants, department stores, clothing stores and other services uses.

3. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.

The granting of the special use will not dominate the immediate area and will not prevent development on the neighboring properties. The surrounding area is already developed with a variety of commercial uses. The proposed drive-through and outdoor eating area will operate in a manner that is not detrimental to the surrounding neighborhood.

4. Adequate utility, drainage and other such necessary facilities have been or will be provided.

Adequate public services are already provided to the subject site. A Final Plan has been submitted that meets the requirements of the UDO regarding utilities and drainage. The proposed drive-through will accommodate five stacking spaces without interfering with the non-drive through traffic of the restaurant.

5. The proposed use, where such developments and uses are deemed consistent with good planning practice, or can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; shall in all other respects conform to the applicable regulations of the district in which it is located; and is deemed essential or desirable to preserve and promote the public health, safety and general welfare of the City of DeKalb.

The proposed special use will not be detrimental to the permitted developments and uses on the site or to the surrounding area. The existing building previously contained a restaurant. The proposed special use will redevelop a lot that has not had a user since 2018 and will be an economic benefit to the Sycamore Road corridor. Development on this property would increase the City's real estate tax base, employment and retail sales taxes.



IV. CITIZEN RESPONSE/COMMENTS

As of February 28th, we have received no Citizen Response Forms or comments from the public regarding the proposal.

V. RECOMMENDATION

A sample motion has been prepared recommending approval.

Sample Motion:

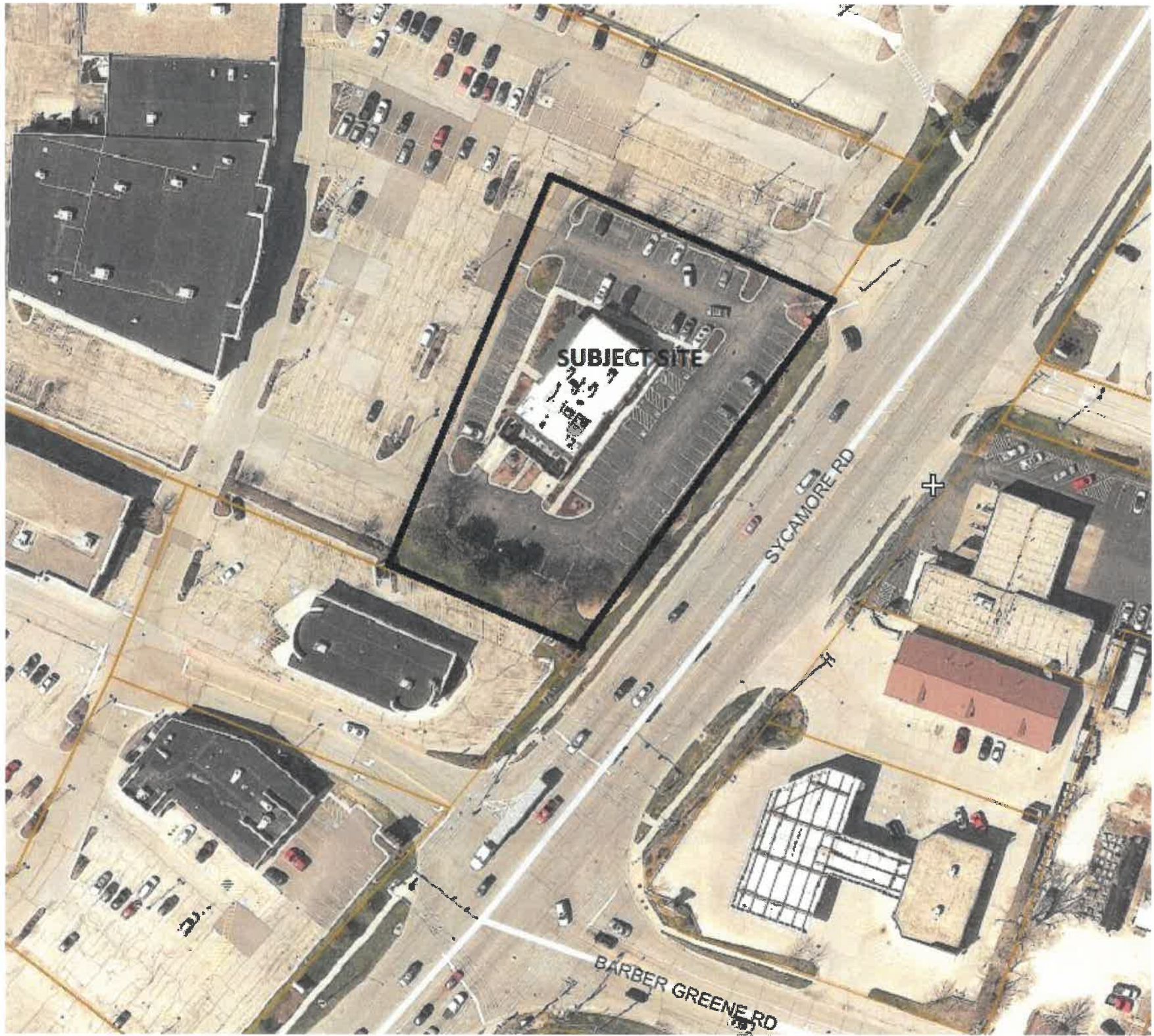
Based upon the submitted petition and testimony presented, I move that the Planning and Zoning Commission forward its findings of fact and recommend to the City Council approval of a Special Use Permit for a drive-through and outdoor eating area and approval of a Final Plan for a Raising Cane's Chicken Fingers Restaurant to be located at 2411 Sycamore Road, per the Final Plan dated 1-24-20 and Exterior Elevations dated 2-11-20 labeled as Exhibit A and per the conditions listed in Exhibit B being addressed per City staff's satisfaction prior to final City Council action.



Exhibit B

1. Submittal of a Photometric Plan meeting the requirements of Article 10.05 of the UDO.
2. Submittal of a detail of the proposed ground sign and any directional signage meeting the requirements of Article 13 of the UDO.
3. Submittal of a detail of the trash enclosure meeting the requirements of Article 7.11 of the UDO.
4. On the Striping and Signage Plan (Sheet C5.2) re-locate the right-turn only sign to the other side of the road at the northeast corner of the site so it is on the same side as the exiting traffic.
5. Tip-out (reverse) vs carry curb shall be clearly identified, either through hatching or notations of their limits/transitions.
6. The scale on the grading sheet reads as 20:1 but is sized (scaled) as 30:1
7. The pavement surface on the east side (exit lane from the "ridge") has insufficient slopes to ensure adequate positive drainage. Appears about 0.55%, achieve min 1.0% as this is a high traffic/conflict surface functionally.
8. The existing service will have to be appropriately disconnected. KWRD will investigate further to determine where the existing service ties into the main and what its condition is.
9. Sheet C7.0 shows a drain (S10) near the dumpsters that is tied into the sanitary service. Unless there is some sort of roof or cover over this drain to prevent rainwater from getting in, it cannot discharge to the sanitary sewer.
10. Under the details for Sanitary Structure S1 is states to construct a drop manhole "over" the existing sewer. Please note that doghouse manholes are not allowed. If this structure is intended to be any different than that indicated by the Drop Manhole Detail, Detail No. 18 on Sheet C8.4, please contact KWRD for prior approval.
11. Proposed 1,500-gallon grease trap is acceptable. Notify KWRD to inspect installation.

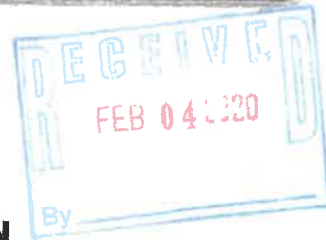












SPECIAL USE PERMIT PETITION

TO: City Council, City Clerk, and Mayor of the City of DeKalb, Illinois

FROM: Petitioner Name(s): Jeff Gould

Phone: 216-398-1010

Petitioner's Representative: _____

Email: kgould@adaarchitects.cc

Mailing Address: _____

17710 Detroit Ave Lakewood OH 44107

Property Owner: 2411 Sycamore LLC

Phone: 312-441-0344

Mailing Address: _____

Email: jim@troutman-dams.com

2211 Elston, Chicago IL 60614

1. The petitioner hereby petitions the City of DeKalb to approve a Special Use Permit for the following property:

A. Legal Description and Parcel Number (s) – If necessary, attach the full legal description on a separate piece of paper: _____

See attached.

B. Street Address or Common Location: 2411 Sycamore Rd DeKalb IL 60115

C. Size of Property (square feet or acres): 1.13 ac

D. Existing Zoning: PD-C

E. Proposed Special Use: Drive-through and outdoor seating in association with a fast food restaurant

F. Proposed Use and Description: On a separate document, describe the proposed use's characteristics. Also, indicate whether or not the proposed use would: a) Prevent development and use of neighboring property; b) impact adjacent existing and future land uses; c) impact adjacent property values; d) impact the general public's health, safety, and welfare; and e) be in conformance with all elements of the "UDO," Unified Development Ordinance



2. The petitioner hereby submits the following information:

- ☒ Vicinity map of the area proposed for the special use
- ☒ Petition fee (\$500.00)
- ☒ 3 full size copies and an electronic copy on a disk of a site plan, which must show the following items (per the requirements of Article 14.03.03 of the UDO):
 - ☒ Property dimensions
 - ☒ Location and use of proposed structures
 - ☒ Number and location of parking spaces and loading area
 - ☒ Location and type of landscaping (including existing trees 6" in diameter or greater and existing tree masses
 - ☒ Location, type, and height of fencing or walls
 - ☒ Location and width of driveways and curb cuts; internal traffic patterns
 - ☒ Floor area (square footage)
 - ☒ Location of exterior lighting
 - ☒ Location, type, and height of signage
 - ☒ Direction of storm water flow, location of detention area

(Note to Petitioner: A site plan for a special use permit is intended to be a schematic plan only. All plans must eventually conform to other City standards prior to the issuance of any building permits or other permits.)

3. The petitioner hereby states that a pre-application conference ☐ was ☒ was not held with City staff prior to the submittal of this petition.

*Date of pre-application conference: _____

Those in attendance: _____

(Note to Petitioner: A pre-application conference with staff is highly encouraged to avoid delays and help in the timely processing of this petition.)

4. The petitioner hereby agrees that this petition will be placed on the Planning and Zoning Commission's agenda only if it is completed in full and submitted in advance of established deadlines.

5. The petitioner has read and completed all of the above information and affirms that it is true and correct.

Jeffrey L. Gould
Petitioner Signature

2-3-2020
Date

I hereby affirm that I am the legal owner (or authorized agent or representative of the owner – proof attached) of the subject property and authorize the petitioner to pursue this Special Use Permit petition as described above (petitioner must sign if they are the owner).

Robert M. Mendenhall
Property Owner Signature

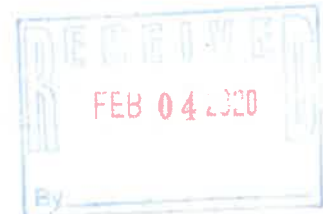
2-3-20
Date

LEGAL DESCRIPTION

LOT 1 OF OAKLAND PLACE RESUBDIVISION, BEING
A RESUBDIVISION OF LOTS 7 AND 11 OF
OAKLAND PLACE IN SECTION 12, TOWNSHIP 40
NORTH, RANGE 4 EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN THE CITY OF DEKALB, DEKALB
COUNTY, ILLINOIS. 95002900

TOGETHER WITH NON-EXCLUSIVE JOINT RIGHTS
FOR ACCESS RIGHTS CREATED BY OAKLAND
PLACE SUBDIVISION, RECORDED JUNE 2, 1994
AS DOCUMENT NO. 94007882 IN BOOK "Y" OF
PLATS AT PAGE 61.

ALSO TOGETHER WITH NON-EXCLUSIVE
EASEMENTS FOR INGRESS, EGRESS, PARKING
AND UTILITIES AS CREATED BY OPERATION AND
EASEMENT AGREEMENT DATED JUNE 13, 1994,
RECORDED JUNE 15, 1994 AS DOCUMENT NO.
94008526.



PLANNED DEVELOPMENT – FINAL PLAN

A. APPLICANT

1. Petitioner / Petitioner Representative

Name Jeff Gould Phone: 216-396-1010
Mailing Address 17710 Detroit Ave Email: kgould@adaarchitects.cc
City, State, ZIP Lakewood OH 44107

2. Property Owner (if different from Petitioner)

Name 2411 Sycamore LLC Phone: 312-441-0344
Mailing Address 2211 Elston Email: jim@troutman-dams.com
City, State, ZIP Chicago IL 60614

3. Engineer / Architect

Name Kurt Schmitz Phone: 216-521-5134
Mailing Address 17710 Detroit Ave Email: kschmitz@adaarchitects.cc
City, State, ZIP Lakewood OH 44107

4. Surveyor (if applicable)

Name _____ Phone: _____
Mailing Address _____ Email: _____
City, State, ZIP _____

B. PROPERTY

Project Name Raising Cane's
Common Address or Location 2441 Sycamore Road, DeKalb IL 60115
Parcel #(s) 0812328013
Legal Description (if necessary, briefly describe here and reference the full legal description on the Plat)
See attached

Size (sq. ft. or acres) 1.13 ac Existing Zoning District PD-C
Proposed Zoning District ☐ PD-R ☒ PD-C ☐ PD-I

C. CHECKLIST

Below are the minimum criteria necessary to properly process your application. Each item must be checked by the applicant to signify it is provided on this form or on other attached pages. Failure to submit all required information will result in delays in the City's consideration of this application, per Unified Development Ordinance (UDO) 5.13.10(4).

NOTE: A completed checklist from the Subdivision—Preliminary Plat application along with all required submittals must be included if this Planned Development involves any subdivision activity.

<u>Item</u>	<u>If not applicable, indicate N/A and explain</u>
<input type="checkbox"/> Filing Fee \$300.00 (no added fee if subdivision is included)	N/A
<input checked="" type="checkbox"/> 2. Three (3) copies of Final Plan document	
<input type="checkbox"/> 3. All information required on previous Preliminary Plan submittal	N/A
<input checked="" type="checkbox"/> 4. All information required in UDO Art. 17.02 "Site Plan Review Requirements"	
<input checked="" type="checkbox"/> 5. Three (3) copies of Final Landscape Plan with specific location, size, and species of plant material	
<input type="checkbox"/> 6. One (1) copy of Statement of Maintenance, Operation, Restrictions, etc. of any common, open space, etc.	
<input type="checkbox"/> 7. One (1) copy of Statement that, with the exception of minimum lot requirements, all regulations of the UDO have been complied with	
<input type="checkbox"/> 8. If applicable, a completed checklist, along with required submittals from the Subdivision—Final Plat application	N/A
<input checked="" type="checkbox"/> 9. One (1) digital copy of plan sets, elevations, and other supporting documents	

D. REQUEST FOR VARIANCE

List requested variance(s) from UDO requirements and the reason(s) for the request. Also provide explanation of compensating actions where appropriate.

Parking - to allow 46 parking spaces where 76 spaces are required

- E.** The petitioner hereby agrees this application will be placed on a Planning and Zoning Commission agenda only if it is completed in full.
- F.** The petitioner hereby agrees to abide by the requirements set forth in the Planning and Zoning Commission Public Hearing Procedures.

G. The petitioner has read and completed all of the above information and affirms it is true and correct.

Jeffrey L. Gould
Petitioner Signature

2-3-2020
Date

I hereby affirm that I am the legal owner (or authorized agent or representative of the owner—proof attached) of the subject property and authorize the petitioner to pursue this request as described above (petitioner must sign if s/he is the owner).

J. R. [Signature] Manager
Property Owner Signature

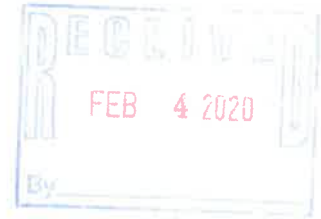
2-3-20
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LEGAL NOTICE

NOTICE is hereby given that a public hearing will be held before the DeKalb Planning and Zoning Commission at its regular meeting on Wednesday, March 4, 2020, at 6:00 p.m. in the DeKalb Municipal Building, 200 South Fourth Street, DeKalb, Illinois, on the petition by 2411 Sycamore LLC, represented by Jeff Gould of ADA Architects, for a special use permit for a drive-through restaurant with an outdoor seating area for 2411 Sycamore Rd. The Planning and Zoning Commission will also consider approval of a Final Plan for the site and approval of waivers to the Unified Development Ordinance regarding required parking, signage and other approvals as required in order to allow for the proposed construction as shown on the Final Plan. The subject site has a Parcel Identification Number (PIN) of 08-12-326-013 and is zoned "PD-C" Planned Development – Commercial.

All interested persons are invited to appear and be heard at the time and place listed above. Interested persons are also encouraged to submit written comments on the proposal to the City of DeKalb, Community Development Department, 200 South Fourth Street, DeKalb, Illinois, 60115 by 5:00 p.m. on Wednesday, February 26, 2020. Further information regarding the petition is available from the Community Development Department at (815)748-2070 or on the City of DeKalb's web page at <https://www.cityofdekalb.com/1103/Public-Hearings>.

Max Maxwell, Chairperson
DeKalb Planning and Zoning Commission

MEMORANDUM

To: LuAron Foster – Raising Cane's Restaurants, LLC

From: Tim Sjogren, P.E., PTOE – Kimley-Horn
Gina Showers, E.I.T. – Kimley-Horn

Date: January 10, 2020

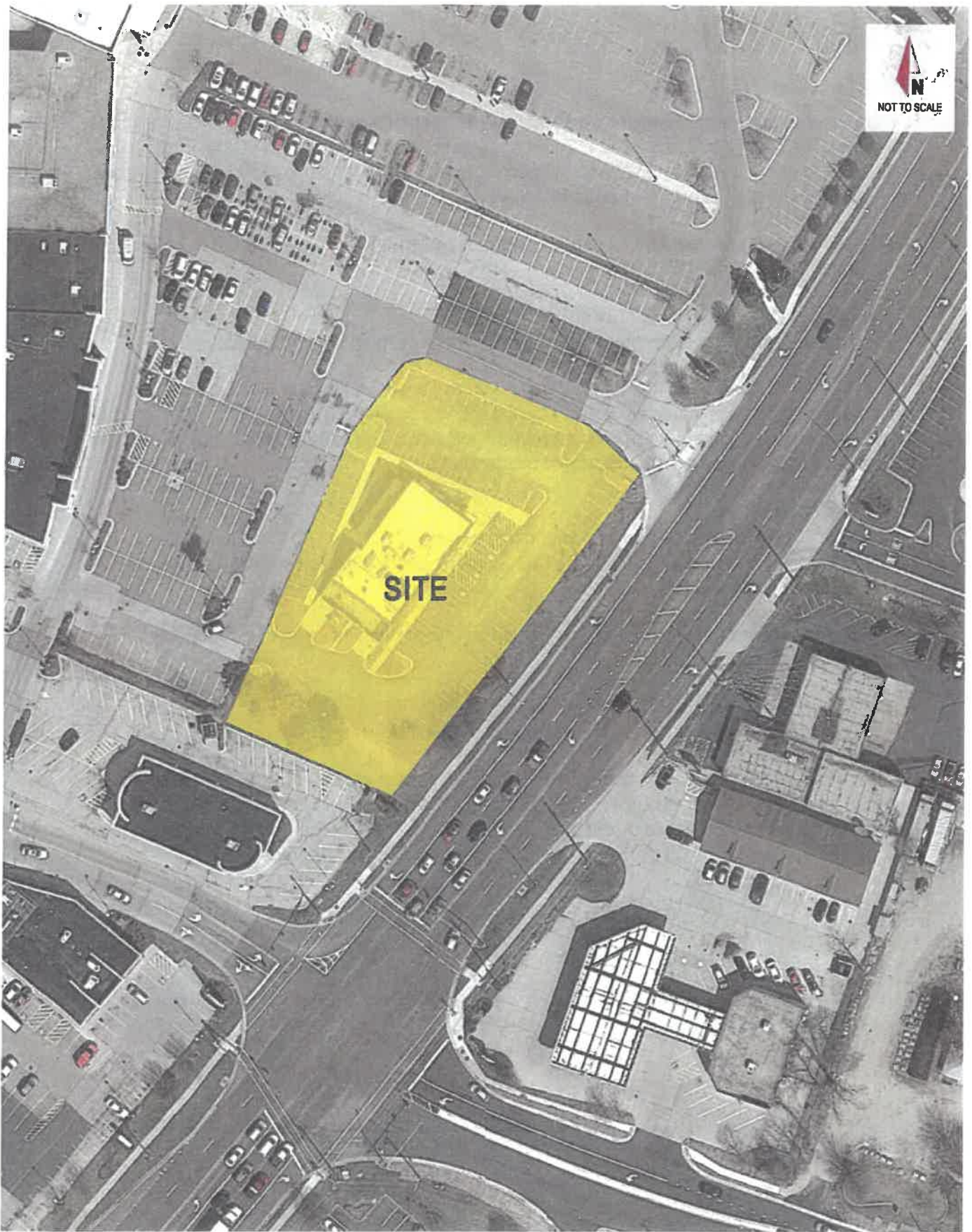
RE: Trip Generation and Parking Assessment for Raising Cane's Outlot
Redevelopment
DeKalb, Illinois

Kimley-Horn and Associates, Inc. (Kimley-Horn) was retained by Raising Cane's Restaurants, LLC to perform a trip generation and parking assessment for the proposed restaurant redevelopment at 2411 Sycamore Road in DeKalb, Illinois. By referencing data from the Institute of Transportation Engineers and previously collected counts at similar sites, parking demand and trip generation were evaluated to determine needs for the proposed Raising Cane's. The study area is shown in **Exhibit 1**.

Executive Summary

The existing site is currently an Applebee's Restaurant and is considered an outlot in a shopping center. The proposed site plan, included as an attachment, is a Raising Cane's fast-food restaurant with a drive-thru, consisting of approximately 3,357 square feet of gross floor area. The redevelopment would provide 46 parking spaces, including two (2) accessible spaces. The City of DeKalb parking code requires 76 spaces. However, parking demand at a similar Raising Cane's, in Oak Lawn, Illinois, shows a peak demand of 26 spaces. Assuming similar utilization, it is expected that the proposed site should provide sufficient parking without spillover into the shopping center.

The trip generation analysis evaluated the proposed site-generated trips compared to the existing site trips. Trip generation was calculated using the Institute of Transportation Engineers (ITE) manual Trip Generation, Tenth Edition, and empirical data from Raising Cane's in Oak Lawn, Illinois. The estimated trips during the highest peak hour for the net traffic is 65 vehicles. However, the empirical data shows only 35 vehicles for the same peak hour, which is approximately the same as the existing Applebee's. Overall, the net trips are expected to be accommodated on the surrounding roadway network.



Parking Assessment

The proposed outlot redevelopment would consist of approximately 3,357 square feet of gross floor area (GFA) and 1,873 square feet of net seating area, including patio seating. The site will provide 121 seats. The site would provide 46 parking spaces, including two (2) accessible spaces. The proposed site plan is provided as an attachment.

The City of Dekalb code requires 76 spaces, which is based on the following from the Municipal Code Unified Development Ordinance.

- 1 space for every 2 seats (121 seats)
- An additional 1 space for every employee on the maximum shift (15 employees)

During a previous study, parking counts were taken at Raising Cane's in Oak Lawn, Illinois, to quantify parking demand associated with Raising Cane's facilities. These counts were used to evaluate parking needs for the proposed restaurant in Dekalb. The existing Raising Cane's in Oak Lawn was selected based on the following considerations:

- Suburban setting
- Outlot in an existing commercial shopping center
- Similar building size (3,575 square feet is developed in Oak Lawn; 3,357 square feet is proposed in Dekalb)

Kimley-Horn conducted hourly parking occupancy counts at the Oak Lawn site during a typical weekday and weekend as follows:

- Thursday, January 10, 2019, from 11:00AM to 8:00PM
- Saturday, January 12, 2019, from 11:00AM to 7:00PM

The Raising Cane's Oak Lawn development provides a total parking supply of 41 spaces. A summary of the observed parking occupancy is provided in **Table 1**. During the weekday, the peak occurred at 4:00PM with approximately 24 occupied spaces (59 percent). On Saturday, the peak occurred at 4:00PM with approximately 26 occupied spaces (63 percent).

Table 1. Observed Parking Occupancy – Raising Cane's Oak Lawn

Time of Day	Thursday, January 10, 2019		Saturday, January 12, 2019	
	Occupied Spaces	Percent Occupied	Occupied Spaces	Percent Occupied
11:00AM	7	17%	10	24%
12:00PM	26	63%	14	34%
1:00PM	18	44%	17	42%
2:00PM	20	49%	18	44%
3:00PM	17	42%	18	44%
4:00PM	24	59%	26	63%
5:00PM	18	44%	20	49%
6:00PM	14	34%	18	44%
7:00PM	19	46%	11	27%
8:00PM	18	44%	--	--
Average	18	44%	17	41%

The Raising Cane's in Oak Lawn includes approximately 3,575 square feet of GFA. The proposed Raising Cane's outlot redevelopment would be similar, with a total of 3,357 square feet of GFA (1,873 square feet net seating area); and therefore, the peak demand observed at the Oak Lawn Raising Cane's development was assumed for the proposed Dekalb outlot redevelopment.

The proposed redevelopment would provide 46 parking spaces for restaurant employees and customers; therefore, peak parking demand (26 spaces) should be accommodated onsite without spillover to the shopping center.

Trip Generation

Existing Site-Generated Trips

In order to calculate approximate existing and proposed traffic volumes, data were referenced from the Institute of Transportation Engineers (ITE) manual Trip Generation, Tenth Edition. Trip generation data for the existing and proposed uses, ITE Land Use Code (LUC) 932, High-Turnover (Sit-Down) Restaurant and LUC 934, Fast-Food Restaurant with Drive-Through Window, is shown in Table 2.

Table 2. ITE Trip Generation Data

ITE Land Use	Weekday			Saturday
	Daily	AM Peak	PM Peak	
Existing: High-Turnover (Sit-Down) Restaurant (LUC 932)	112.18 50% in/50% out	9.94 55% in/45% out	9.77 62% in/38% out	11.19 51% in/49% out
Proposed: Fast-Food Restaurant with Drive-Through Window (LUC 934)	470.95 50% in/50% out	40.19 51% in/49% out	32.67 52% in/48% out	54.86 51% in/49% out

For the purposes of this analysis, the Applebee's was estimated to be 4,500 square feet of gross floor area (GFA), based on an aerial measurement of the building's footprint. The preceding data was used to estimate the trips produced by the existing and proposed restaurants. Site generated trips will also include pass-by trips, as described below.

Pass-by – Pass-by traffic reflects the travel patterns of motorists who are already traveling on the adjacent study roadways and stop at the site en-route to another destination. Data in the ITE Trip Generation Handbook, Third Edition, reveals that 43 percent of vehicles at a High-Turnover (Sit-Down) Restaurant (LUC 932) during the evening peak hour are pass-by trips. ITE data is not provided for Daily trips, morning peak hour trips, and Saturday peak hour trips; therefore, an average of the 43 percent was used to estimate pass-by trips during these periods. Additionally, data in the Handbook reveals that 49 percent of vehicles at a Fast-Food Restaurant with Drive-Through Window (LUC 934) during the morning peak hour and 50 percent of trips during the evening peak hour are pass-by trips. ITE data is not provided for Daily trips and Saturday peak hour trips; therefore, an average of the morning and evening peak hour data (50 percent) was used to estimate pass-by trips during these periods.

The results of these calculations, as well as the net trips, are shown in **Table 3**.

Table 3. Total Traffic Projections

Land Use	Gross Floor Area (1,000 SF)	Weekday Trips ¹							Saturday Trips ¹		
		Daily	AM Peak			PM Peak			Peak Hour		
			In	Out	Total	In	Out	Total	In	Out	Total
Existing: High-Turnover (Sit-Down) Restaurant (LUC 932)	4.5	500	25	20	45	25	15	40	25	25	50
<i>Minus Pass-By Trips</i>		-220	-10	-10	-20	-10	-10	-20	-10	-10	-20
Existing Total		280	15	10	25	15	5	20	15	15	30
Proposed: Fast-Food Restaurant with Drive- Through Window (LUC 934)	3.357	1,580	70	65	135	55	50	105	95	90	185
<i>Minus Pass-By Trips</i>		-790	-35	-35	-70	-25	-25	-50	-45	-45	-90
Proposed Total		790	35	30	65	30	25	55	50	45	95
Net Trips		510	20	20	40	15	20	35	35	30	65

¹ Peak hour trip generation was rounded up to the nearest multiple of five for the purpose of this study.

In addition, empirical trip generation was analyzed based on data from the Raising Cane's in Oak Lawn, Illinois. **Table 4** then shows the site trips for each peak hour. The empirical data results in lower peak hour site trips that projections for ITE LUC 934.

Table 4. Empirical Peak Hour Trips

Data Location	Weekday Trips						Saturday Trips		
	AM Peak			PM Peak			Peak Hour		
	In	Out	Total	In	Out	Total	In	Out	Total
Raising Cane's Oak Lawn	1	2	3	17	24	41	19	16	35

From the empirical counts and acknowledging the typical opening time of Raising Cane's restaurants, it should be noted that there are minimal trips in the morning peak hour. The highest of the projected trips is shown in the Saturday peak hour, totaling 185 trips based on ITE data. Looking at the same peak hour in the empirical data, there were 35 trips. The existing total for the Applebee's is estimated at 50 trips, which means that there could be a reduction in total trips with the proposed development. While ITE data suggests additional traffic compared to the existing restaurant, the empirical data shows similar to lower values.

The Annual Average Daily Traffic for Sycamore Road in the vicinity of the proposed redevelopment is 22,300 vehicles per day. Using this value to approximate peak hour traffic, it can be assumed that ten (10) percent of daily traffic occurs during the peak hour, resulting in approximately 2,230 vehicles per hour on Sycamore Road during a given peak hour. Shown in Table 3, the highest estimated peak hour for net traffic projections is the Saturday peak hour of 65 site-generated trips, which is approximately three (3) percent of the peak hour traffic on Sycamore Road. Based on the low net trip projections, it is expected that the study area should be able to accommodate the proposed site-generated trips.

Conclusion

The proposed Raising Cane's restaurant consists of 3,357 square feet of GFA and provides 46 parking spaces. Using data collected at a similar Raising Cane's, the peak parking demand was 26 spaces. This existing restaurant is slightly larger in size than the proposed restaurant. Although City of Dekalb parking requirement is 76 spaces for the proposed site, it is expected that the proposed 46 spaces will be sufficient based on the Raising Cane's in Oak Lawn, Illinois.

Trip generation was calculated for the existing Applebee's and proposed Raising Cane's. The net trips are expected to be accommodated on the surrounding roadway network.

Please do not hesitate to contact us with any questions related to the information in this memorandum.