

**APPROVING A SPECIAL USE PERMIT FOR THE CO-LOCATION OF
CELL ANTENNAS AND ASSOCIATED EQUIPMENT AT 1500 S. 7TH
STREET, DEKALB, ILLINOIS (VERIZON WIRELESS).**

WHEREAS, the City of DeKalb (the "City") is a home rule municipality with the power and authority conferred upon it by the Illinois Constitution; and,

WHEREAS, Verizon Wireless (herein referred to as "Petitioner"), has petitioned the City for approval of a special use permit for co-location of cell antennas and associated equipment at the existing AT&T cell tower located at 1500 S. 7th Street, DeKalb, Illinois (herein referred to as "Subject Property") and zoned "LI" Light Industrial District; and

WHEREAS, pursuant to proper legal notice, a public hearing was conducted by the City's Planning and Zoning Commission on February 5, 2020; and

WHEREAS, the City and Petitioner have conducted all required public hearings before the City's Planning and Zoning Commission for the special use permit for the Subject Property, and have otherwise satisfied all conditions precedent to the adoption of this Ordinance; and

WHEREAS, the City Council has reviewed and adopts the following findings of fact of the Planning and Zoning Commission of the City of DeKalb, finds that the proposed special use permit is in conformance with the applicable factors contained therein, and finds that approval of the special use permit for the Subject Property is in the public interest and promotes the public health, safety and welfare;

**STANDARDS OF A SPECIAL USE – ARTICLE 14.03.05 (2) OF THE UNIFIED
DEVELOPMENT ORDINANCE**

- 1. The proposed special use complies with all provisions of the applicable district regulations.**

The proposed cell antennas will comply with all regulations of the "LI" Light Industrial District and the UDO. The only point of visual interest, as defined by the UDO, in the vicinity of the subject property is McCormick Park, which is located to the south. The proposed co-locating on the existing AT&T Tower will have minimal impact on the profile of the existing structure. The antennas will not extend beyond the height of the existing tower. The applicant will be meeting the conditions for a special use for cell antennas per the UDO standards, Article 7.08.08.

- 2. The proposed special use will not be unreasonably detrimental to the value of other property in the neighborhood in which it is to be located or to the public welfare at large.**

The proposed special use will not have a detrimental effect on the adjacent properties or land uses. Co-location of the antennas on the existing structure, as opposed to erecting a new communications tower, minimizes the potential impact on the neighborhood. The site has been zoned "LI" Light Industrial for decades and is in proximity to a variety of commercial uses. The proposed supporting equipment on the ground will be approximately 275 feet from the nearest residential zoned property and will be fenced and screened by landscaping.

- 3. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.**

The special use will not dominate the immediate area and will not prevent development on the neighboring properties. The surrounding area is already developed with a variety of commercial uses and single-family residential homes to the west.

- 4. Adequate utility, drainage and other such necessary facilities have been or will be provided.**

Adequate utility services will be provided to the subject site for the construction and operation of the proposed special use. Verizon Wireless will have field technicians on site at least one a month for routine maintenance.

- 5. The proposed use, where such developments and uses are deemed consistent with good planning practice, or can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; shall in all other respects conform to the applicable regulations of the district in which it is located; and is deemed essential or desirable to preserve and promote the public health, safety and general welfare of the City of DeKalb.**

The proposed special use will not be detrimental to the permitted developments and uses on the site or to the surrounding area. The proposed antennas will be located on an existing communications tower thus avoiding the construction of a new tower. The enhanced service to Verizon customers will be beneficial to the surrounding area and community. The additional service will also reduce the incidence of dropped calls, poor reception, and slow data service.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL of the City of DeKalb, Illinois as follows:

SECTION 1: The recitals set forth in the preamble are hereby incorporated herein by reference and made a part of this Ordinance.

SECTION 2: This Ordinance is limited and restricted to the Subject Property described as follows:

Lot 2 of First Addition to C. Bradt Industrial Subdivision, Being a Part of the East Half of the Southwest Quarter of Section 26, Township 40 North, Range 4 east of the Third Principal Meridian, as per the Plat Thereof Recorded August 9, 1961, in the Recorder's Office of DeKalb County, Illinois, as in Book L of the Plats, Page 64, as Document Number 306513, situated in DeKalb County.

The property is commonly known as 1500 S. 7th Street, DeKalb, Illinois 60115, and has a Parcel Identification Number ("PIN") 08-26-326-002.

SECTION 3: The City's corporate authorities grant a special use permit for the Subject Property located at 1500 S. 7th Street for co-location of cell antennas and associated equipment per the plans dated 2-17-20 prepared by Verizon Wireless and attached as Exhibit A.

SECTION 4: All ordinances or portions thereof in conflict with this ordinance, including the prior versions of the ordinances included above, are hereby repealed.

SECTION 5: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and affect the same as if the invalid provision had not been a part of this Ordinance.

SECTION 6: That all provisions of the UDO shall remain in full force and effect and this Ordinance shall take effect upon its passage and approval according to Law. The City Clerk or Executive Assistant shall record a copy of this Ordinance after execution of this Ordinance.

ADOPTED BY THE CITY COUNCIL of the City of DeKalb, Illinois at a Regular meeting thereof held on the 24th day of February 2020 and approved by me as Mayor on the same day. Passed on First Reading by an 8-0 roll call vote. Aye: Morris, Finucane, Smith, Perkins, McAdams, Verbic, Faivre, Mayor Smith. Nay: None. Second Reading waived by an 8-0 roll call vote. Aye: Morris, Finucane, Smith, Perkins, McAdams, Verbic, Faivre, Mayor Smith. Nay: None.

ATTEST:


RUTH A. SCOTT, Executive Assistant



JERRY SMITH, Mayor

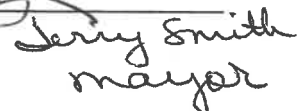

Jerry Smith
Mayor

EXHIBIT A

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NTD-1	NOTICE TO CONTRACTORS
NTD-2	NOTICE TO CONTRACTORS

DRIVING DIRECTIONS

DRIVING DIRECTIONS FROM 1515 WOODFIELD RD. SCHAUMBURG:

1. HEAD NORTH 0.3 MI
2. TURN RIGHT ONTO WOODFIELD RD 0.8 MI
3. TURN RIGHT ONTO WOODFIELD RD 0.9 MI
4. MERGE ONTO I-55 N 0.3 MI
5. KEEP LEFT AT THE FORK TO CONTINUE ON I-55 N, FOLLOW SIGNS FOR INTERSTATE 55
6. KEEP LEFT AT THE FORK TO CONTINUE ON I-55 N, FOLLOW SIGNS FOR I-55 N
7. KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR I-55 N AND MERGE ONTO I-55 N PARTIAL TOLL ROAD 1.3 MI
8. TAKE THE PENDING EXIT TOWARD I-55 N, TOLL ROAD 0.4 MI
9. KEEP RIGHT AT THE FORK AND MERGE ONTO I-55 N, TOLL ROAD 1.1 MI
10. MERGE ONTO I-55 N 0.3 MI
11. TURN LEFT ONTO I-55 N 0.3 MI
12. TURN RIGHT ONTO I-55 N 0.3 MI

DESTINATION WILL BE ON THE RIGHT
TOTAL TRAVEL ESTIMATE: 67.3 MILES, 67 MINUTES

PROFESSIONAL LICENSURE

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY COMPLY WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND ORDINANCES.



LICENSED PROFESSIONAL - STATE OF ILLINOIS
EXPIRES: 11/03/20

SIGNED: 02/17/20

REGIONAL MAP



Know what's below.
Call before you dig.
CALL 811
FOR UNDERGROUND
UTILITIES PRIOR TO DIGGING
811 OR 1-888-882-8123

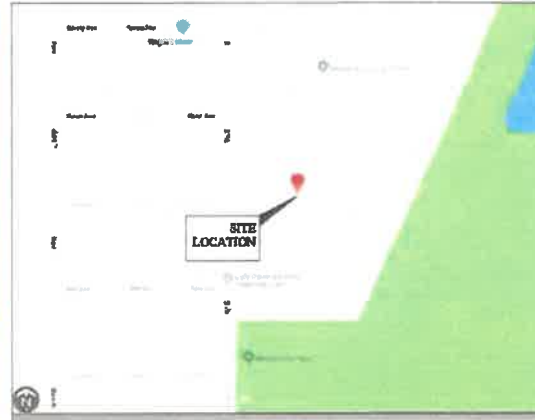
CHICAGO SMSA limited partnership d/b/a VERIZON WIRELESS

SCOPE OF WORK

- (1) NEW 10'-0" X 15'-0" LESSEE EQUIPMENT CONCRETE PAD W/DIESEL GENERATOR
 - (2) NEW V-BEAM ANTENNA MOUNTING FRAMES WITH (5) NEW LESSEE ANTENNAS,
 - (3) NEW LESSEE TOWER MOUNTED RAYCAP UNITS,
 - (4) NEW LESSEE FRUS UNITS,
 - (5) NEW HYBRID CABLES
- MOUNTED ON A EXISTING 275'-0" HIGH SELF SUPPORT TOWER
(NEW LESSEE ANTENNA CENTERLINE= 125'-0" ASL)

APPROVALS	
REAL ESTATE	
CONSTRUCTION	
RF	
SITE ACQ.	
FIELD OPS	
LANDLORD	

VICINITY MAP



PROJECT NUMBER
20141009837

LOCATION NUMBER
285821

SITE NAME
STATE HWY 23 & FAIRVIEW DRIVE

SITE ADDRESS
1500 SOUTH 7TH STREET
DEKALB, IL 60115

PROJECT INFORMATION

APPLICANT: CHICAGO SMSA
LIMITED PARTNERSHIP d/b/a
VERIZON WIRELESS
1515 WOODFIELD
SUITE 1000
SCHAUMBURG, IL 60173

TOWER OWNER: AT&T
1500 SOUTH 7TH STREET
DEKALB, IL 60115

CONTACT: THOMAS WILSON
PHONE: (404) 852-8883

LATITUDE: 41° 54' 45.5" N
LONGITUDE: 88° 52' 52.5" W
GROUND ELEVATION: 150' ASL
SITE TYPE: SELF SUPPORT TOWER
JURISDICTION: CITY OF DEKALB
COUNTY: DEKALB COUNTY
UTILITIES: COMED ACCT: 1570-0000
POWER: CONTACT: MELISSA HUGHES
PHONE: (312) 802-2525
FIBER: MCI METRO AIR
CONTACT: PAUL FLYNN
PHONE: (312) 872-8888

PROJECT CONTACTS & CODES

VERIZON WIRELESS
PROJECT MANAGER
CONTACT: DANNY PEREZ
1515 WOODFIELD
SUITE 1000
SCHAUMBURG, IL 60173
PHONE: (647) 705-1795

ENGINEERING & SURVEYING
CONTACT: CM SADAT, PE
PHONE: (647) 861-0801
FAX: (647) 861-0803

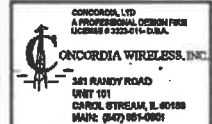
SITE ACQUISITION: DOLAN REALTY ADVISORS, L.L.C.
144 W LOCKWOOD AVE
SUITE 200
WEBSTER GROVES, MO 63110

CONTACT: DOUG DOLAN
PHONE: (314) 853-7710

CODES:

1. INTERNATIONAL BUILDING CODE 2015
2. INTERNATIONAL EXISTING BUILDING CODE 2015
3. NATIONAL ELECTRICAL CODE (NEC) 2014
4. IBC 2015
5. IBC 2015
6. IBC 2015
7. IBC 2015
8. ILLINOIS STATE PLUMBING CODE 2014
9. ILLINOIS ACCESSIBILITY CODE 2010
10. AMERICAN CONCRETE INSTITUTE ACI 318
11. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
12. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION
13. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-C, STRUCTURAL STANDARDS FOR STEEL TOWER AND ANTENNA SUPPORTING STRUCTURES
14. TIA 465, COMMERCIAL BUILDING ORGANIZATIONS AND BUILDING REQUIREMENTS FOR TELECOMMUNICATIONS

CHICAGO SMSA limited partnership d/b/a VERIZON WIRELESS



DRAWN BY: SS **CHECKED BY:** PS
CHECKED BY: N1 **APPROVED BY:** CMG

ISSUED FOR ZONING SUBMITTAL

No.	Revised/Issue	Date	Initial
A	20% REVIEW	08/28/19	SS
B	30% REVIEW	12/01/19	PS
C	ZONING SUBMITTAL	02/17/20	N1

PROJECT # 20141009837
VZW LOCATION # 285821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

	NEW AREA		GRAVEL OR PAVEMENT
	EXCAVATION		BRICK
	GROUND FLOOR		MASONRY
	GROUND BAR BAR		CONCRETE
	MECHANICAL GROUND CONTOUR		EARTH
	OLD FIELD		GRAVEL
	GROUND ACCESS WELL		PLUMWOOD
	ELECTRIC BOX		SAND
	TELEPHONE BOX		WOOD CONTOUR
	LIGHT POLE		WOOD IN CUTS
	FIRE MEASUREMENT		STEEL
	SPOT ELEVATION		CLEARANCE
	SET POINT		PROPERTY LINE
	REVISION		WATERLINE
	GROUND REFERENCE		WATER POINT
	DETAIL REFERENCE		GROUND CONDUCTIVITY
	ELEVATION REFERENCE		UT
			US
			ADDITIONAL
			OVERHEAD ELECTRIC CONDUIT
			OVERHEAD ELECTRIC CONDUIT
			OVERHEAD ELECTRIC CONDUIT

1 PROJECT SYMBOLS
SCALE: NTB

1. **IMPERFECTIONS OF THE CHAIR MUST BE NOTICED AT LEAST TWO DAYS PRIOR TO COMPLETION OF CONSTRUCTION.**
2. **DO NOT DISMANTLE OR DISTURB BEFORE THE PROPERTY LINES OR LICENSE LINES. WAIVER OTHERWISE NOTED.**
3. **DO NOT SCALE BUILDING OR CONSTRUCTION FROM DEBRIS.**
4. **ANY OTHER ACTION FILED THE ENCUMBERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. ELEVATION, LOCATION AND TYPE OF ANY ENCUMBERED OR IMPROVEMENTS SHALL BE RECORDED IN THE RECORDS OF THE CHAIR. ANY ENCUMBERED SHALL BE RETURNED TO PRE-EXISTING CONDITION AT COMPLETION OF PROJECT.**
5. **ALL EXISTING UTILITY PIPES, FACILITIES, CONDUITS, AND THEIR TRACEMENTS SHOWN ON PLANS SHALL BE PROTECTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE ACCURACY OF THE INFORMATION SHOWN ON THE PLANS ON THE NUMBER OF DEPTHS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT/ENGINEER. THE CONTRACTOR SHALL OBTAIN LOCATION OF ALL EXISTING UTILITIES AND RECOVER PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM CHAIR UTILITY COMPANY ANY UTILITY LOCATIONS AND DEPTHS PRIOR TO START OF CONSTRUCTION. ALL METHODS OF REMEDIATION OR RECOVERY MUST BE UTILIZED.**
6. **CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY RECOVERIES OR DOWN CUTS TO RELOCATE UTILITIES OR PLACES SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR REGULATION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERMITTED UNTIL THE CONTRACTOR HAS BEEN ADVISED AND COVERED BY THE ARCHITECT/ENGINEER. FAILURE TO OBTAIN SUCH INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGE AND EXPOSURE CONTRACTOR SHALL OBTAIN UP TO (FOUR) (4) FEET UTILITY LOCATIONS AND DEPTHS PRIOR TO START OF CONSTRUCTION.**

[illegible][illegible]

2 PROJECT ABBREVIATIONS

1. ALL VEHICLE CONSTRUCTION UTILITY STRUCTURES ON STEEPED SLOPES SHALL BE SECURED TO EXISTING GEOTECHNICAL WALLS. ALL VEHICLE CONSTRUCTION UTILITY STRUCTURES SHALL BE ADJUSTED TO REMAIN CLEARANCE PRIOR TO FINAL INSPECTION OF WORK.
2. THE MAINTENANCE DEPARTMENT ADVISES THE MAINTENANCE PERSONNEL SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK. CLEAR ESTABLISHED BY THE CLOSURE OF OFFICIAL WORKING JURISDICTION.
3. GRADING OF THE NEW WORK AREA IS TO BE RECONSTRUCTED TO EXISTING SLOPE IN ALPHAS AND IS TO BE PAVED TO EXISTING GRADIENTS AT THE GRADING LIMITS.
4. ALL SIGNIFICATION FOR THE INSTALLATION OF PROTECTIONS, UTILITY, ETC., SHALL BE PROPERLY LAYED OUT OR BRACKETED IN ACCORDANCE WITH CURRENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
5. STRUCTURAL WALLS SUPPORTED FOUNDATIONS SHALL BE CONFINED TO MAXIMUM PERMITTED BUILDING FOOTPRINT.
6. NEWFOUNDERS WITH BUILDING AND EXISTING IMPROVEMENTS ARE TO BE SECURED BY PILING WITH APPROVED CLEARANCE, AND CONFINED TO SET OF STANDARD PROTECTION BARRIER.
7. ALL WALLS SHALL BE PLACED IN PROPER POSITION. THE UPPER PORTION SHALL NOT EXCEED THE EXISTING SLOPE. PROPERLY COMPLETED THROUGHOUT ITS ENTIRE DEPTH WITH THE EXISTING AVAILABLE.
8. ANY WALLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 1:1 HORIZONTAL TO 1 VERTICAL, SHALL BE PROPERLY BRACKETED INTO THE EXISTING SLOPE AS DIRECTED BY A CERTIFIED GEOTECHNICAL ENGINEER.
9. THE EXISTING WORKER THE VEHICLE-MANUAL ARE TO BE ALLOWED TO CONSTRUCT COMPLETELY TO A LENGTH OF 50% OF STANDARD PROTECTION COVER THE AREA WITH A WALL. VEHICLE (IF OVERLAP AT 50%) FOR VEHICLE SUPPLEMENT, THEN ALLOWING FURTHER COMPLETE COVER OF 50% OF EXISTING STANDARD FILL.
10. CONTRACTOR SHALL OBTAIN EXISTING EXISTING CONSTRUCTION AS WELL AS NO PAVED, TRAIL, WALK, BRUSH OR ANY OTHER EXISTING WALL, REMOVAL, AND REMOVAL COMPLETED DURING EXISTING OPERATIONS SHALL BE DETERMINED OF CONCRETE.
11. ALL TREES AND EXISTING WALLS ARE NOT IN DIRECT CONTACT WITH THE FOUNDATIONS SHALL BE PROTECTED.
12. TO HAVE ALL PLACES PLACED IN PROPER POSITION. TO LOCATE AND PROTECT ANY AND ALL SURFACE UTILITIES. DO NOT SCALE UP THERE. ALSO FOR ANY BELOW WORK UTILITIES.
13. THERE PLANS MAY NOT COVER OR REVEAL ALL SURFACE UTILITIES. OR BE RESPONSIBLE OF LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION.

3 GENERAL NOTES
SCALE: NTS

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 3323-015 - D.B.A.

 **CONCORDIA WIRELESS, INC.**

381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60150
MAIN: (547) 393-0801

DRAWN BY: SS	CHECKED BY: PS
CHECKED BY: RM	APPROVED BY: QMS

PROJECT # 20141009837
VZW LOCATION # 285621
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

GENERAL NOTES

SHEET NUMBER:
SP-1

GENERAL NOTES

1. CONTRACTOR TO PURCHASER AND INSTALL THE FOLLOWING:

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OTHER MATERIALS FOR THE COMPLETE INSTALLATION OF THE SITE INCLUDING, BUT NOT LIMITED TO, SUCH MATERIALS AS PERMANENT STRUCTURAL STEEL SUPPORTS FOR WIRING FOR PLANTATION, INCLUDING LATCH AND HANGERS, CHANGING ROOM, CHANGING ROOMS, COPPING CLAD ON EXISTING GROUND ROOF, BUNG BARS, TRANSFORMERS AND DISCONNECT SWITCHES, APPLICABLE, TEMPORARY ELECTRICAL POWER, EXHAUST, LANDSCAPING DRAINAGE STOPS, GROUND, GROUND, ELECTRICAL AND PLUMBING, WIRING, CONCRETE, CHANGING, PADS AND/OR OTHER MATERIALS, INCLUDING MATERIALS, CABLE, TUBES, NON-STRUCTURAL ANTENNA FRAMES AND ALL OTHER MATERIALS AND LABOR REQUIRED TO COMPLETE THE JOB ACCORDING TO THE DRAWINGS AND SPECIFICATIONS.

IT IS THE POSITION OF VERIZON WIRELESS TO APPLY FOR PERMITS AND CONTRACTOR RESPONSIBLE FOR PROPOSAL AND PAYMENT OF REQUIRED PERMITS.

VERIZON WIRELESS FURNISHED EQUIPMENT SHALL BE PICKED UP AT THE VERIZON WIRELESS WAREHOUSE, NO LATER THAN 48 HOURS AFTER RECEIPTED EQUIPMENT, STORED, UNPACKED, PROTECTED AND INSTALLED BY THE CONTRACTOR WITH ALL APPLICABLE REQUIREMENTS TO PLACE THE EQUIPMENT IN OPERATION, READY FOR USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT AFTER PICKING UP.

ALL EQUIPMENT FURNISHED AND WORK PERFORMED UNDER THE CONTRACT DOCUMENTS SHALL BE SUBJECT TO INSPECTION AND/OR INSPECTION BY VERIZON WIRELESS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS NOTED OTHERWISE. ANY FAILURE OF EQUIPMENT OR WORK DUE TO DEFECTS IN MATERIALS OR WORKMANSHIP SHALL BE CORRECTED BY THE CONTRACTOR AT NO COST TO THE OWNER.

ALL WORK, MATERIAL, AND EQUIPMENT SHALL COMPLY WITH ALL REQUIREMENTS OF THE LATEST EDITIONS AND INTERIM AMENDMENTS OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRICAL SAFETY CODE (NESC), AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES. ALL EQUIPMENT, EQUIPMENT PROVIDED UNDER THE CONTRACT SHALL BE NEW, EXCEPT WHERE OTHERWISE NOTED AND SHALL COMPLY WITH THE REQUIREMENTS OF THE UNDERWRITER LABORATORIES (UL) AND LISTED IN THE UL LIST.

VERIZON WIRELESS OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO SELECT ANY EQUIPMENT OR MATERIALS WHICH WHEN OFFERED ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO THE OWNER OR HIS ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL SUPPORT, BRACE AND STRENGTHEN EXISTING STRUCTURES AS REQUIRED. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VISITORS ALL OBTAIN PERMISSIONS WHICH AFFECT THE WORK SITUATION.

THE CONTRACTOR SHALL NOT ALLOW OR CAUSE ANY OF THE WORK TO BE COVERED UP OR ENCLOSED UNTIL IT HAS BEEN INSPECTED BY THE COMPANY AUTHORITY. ANY WORK THAT IS ENCLOSED OR COVERED UP BEFORE SUCH INSPECTION AND THAT SHALL BE UNCOVERED AT THE CONTRACTOR'S EXPENSE. AFTER IT HAS BEEN INSPECTED, THE CONTRACTOR SHALL RETURN THE WORK TO ITS ORIGINAL CONDITION AT HIS OWN EXPENSE.

ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR OPERATIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER, VERIZON WIRELESS, ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THE PLANS OR THE RESULTS OF THEIR RESEARCH OR OBSERVATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATION OF ALL SUB UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO LOCATION, DEPTH, SIZE AND DEPTH OF UTILITIES OR ADJACENT UTILITIES.

GENERAL NOTES

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE PROJECT MANAGER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CLEARED AND CORRECTED BY THE PROJECT MANAGER. FAILURE TO DO SO WILL BE CONSIDERED A VIOLATION OF THE CONTRACT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED CORRECTIONS.

CONTRACTORS SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO TRASH, TRASH, DEBRIS, WASTE, BRUSH, OR ANY OTHER DEBRIS REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.

ALL SITE WORK SHALL BE CAREFULLY SUPERVISED BY THE CONTRACTOR WITH LOCAL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THE LOCATION.

DURING CONSTRUCTION, THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE UTILITIES OF THE BUILDING WITHOUT INTERRUPTION. SHOULD IT BE NECESSARY TO INTERRUPT ANY SERVICE OR UTILITY, THE CONTRACTOR SHALL ACQUIRE PERMISSION IN WRITING FROM THE BUILDING PROPERTY OWNER FOR SUCH INTERRUPTION AT LEAST 24 HOURS IN ADVANCE. ANY INTERRUPTION SHALL BE IN ACCORDANCE WITH THE BUILDING PROPERTY OWNER AND ANY SUCH INTERRUPTION SHALL BE COORDINATED WITH THE BUILDING PROPERTY OWNER.

CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION. EXISTING CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION.

CONTRACTOR SHALL SUBMIT AT THE END OF THE PROJECT A COMPLETE SET OF AS-BUILT DRAWINGS TO VERIZON WIRELESS PROJECT MANAGER.

CONTRACTOR SHALL NOT START THE CONSTRUCTION UNTIL AFTER THEY RECEIVE THE PRE-CON FURNISHED AND HAVE A PRE-CON FURNISHED WITH THE PROJECT MANAGER.

SECTION 2 - SITE WORK

THE CONTRACTOR SHALL UTILIZE PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES, SERVICES, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH ARE LOCATED IN THE WORK SHALL BE PROTECTED AT ALL TIMES, AND WHERE NECESSARY FOR THE PROPER OPERATION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE PROJECT MANAGER. EXTENSIVE CAUTION SHOULD BE EXERCISED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL BE NECESSARY BUT NOT LIMITED TO:

- ALL PROTECTION
- COVERED SPACE
- ELECTRICAL SAFETY
- WORKING AND EXCAVATION

REMOVING FROM EXISTING PROPERTY ALL WASTE MATERIALS, UNWANTED EXISTING MATERIALS, INCLUDING MATERIALS, CLAMPED UNWANTED MATERIALS, CONTAMINATED OR DAMAGED MATERIALS AND DEBRIS, AND COMING OF IN A CASE, BRUSH.

ALL EXISTING FACILITIES, SERVICES, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH COINCIDE WITH THE EXISTING OF THE WORK, SHALL BE REMOVED AND/OR COVERED, PLACED OR OTHERWISE PROTECTED BY FORMS AND SHALL NOT BE INTERFERED WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING.

THE AREAS OF THE OWNED PROPERTY OWNED BY THE WORK AND NOT COVERED BY THE BUILDING OR OTHERWISE, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEED, AND COVERED WITH MULCH.

CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION. EXISTING CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND CONSTRUCTION STAKES. CONTRACTOR SHALL ESTABLISH GRADE AND LINE BEFORE PRIOR TO CONSTRUCTION.

CONCORDIA DOES NOT GUARANTEE OR WARRANT THAT THE AFORESAIDED LOCATIONS ARE EQUIPMENT FOR CONSTRUCTION TRAFFIC OR SHALL COMPLY WITH A VERIZON REPRESENTATIVE AND/OR OWNER'S NEW EXISTING LOCATION TO REALIZE THE CONDUCTIBILITY OF THE SITE AND DELIVERY OF CRITICAL MATERIALS SUCH AS PRELIMINARY, STEEL, CONCRETE AND CHANGES TO THE PROPOSED LICENSE AREA, OR SHALL RETURN SITE TO ORIGINAL CONDITIONS AND REPLACE ANY AND ALL DISTURBED THINGS OR LANDSCAPING.

CONCORDIA IS NOT RESPONSIBLE FOR THE MAINTENANCE AND/OR OPERATIONAL PERFORMANCE.

SCOPE OF WORK FOR THESE PLANS DOES NOT INCLUDE VALUE ENGINEERING AS WELL AS ANY NECESSARY OPERATIONS OF THE SITE, ACCESS OR UTILITIES.

SECTION 1 - CONCRETE

IRREMOVABLE CONCRETE CONSTRUCTION STRUCTURES SHALL BE 4800 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHOD STANDARD ASTM C121, ASTM C81 AND ASTM C1505. OTHERWISE NOTED.

CONCRETE FOR ALL FOUNDATIONS: 4000 PSI PER CLASSIFICATION OF CONCRETE. MINIMUM CEMENT CONTENT FOR 4000 PSI MINIMUM AGGREGATE: 4000 PSI MINIMUM 3 INCHES TO 1 INCHES. TOTAL AIR CONTENT: 4 PERCENT TO 7 PERCENT BY VOLUME. AIR CONTAINING AGGREGATE REQUIRED TO CONTROL TOTAL AIR CONTENT, EXTERIOR EXPOSED AGGREGATE FINISHED TO GIVE SLUMP OVER 2.40-2.60.

ALL CONCRETE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI) 308 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI 309 STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE.

TESTS SHALL BE AT 4000 PSI DEFORMED TYPE WITH MINIMUM YIELD STRENGTH OF 4800 PSI (AS PER THE CODE MAY BE USED FOR THIS A STEELING).

MINIMUM WIRE FABRIC SHALL CONFORM TO ASTM A-61.

EXISTING WALLS IN ACCORDANCE WITH MINIMUM OF STANDARD SPECIFICATIONS OF STEEL REINFORCED CONCRETE STRUCTURES (ACI 308) LATEST EDITION.

CHAMFER ALL EXPOSED EDGES OF CONCRETE 24" LARGER OTHERWISE NOTED.

REINFORCING STEEL SHALL BE REGULARLY PLACED AND ADEQUATELY SECURED IN POSITION. LOCATION OF REINFORCING SHALL BE INDICATED ON THE DRAWINGS. THE FOLLOWING SHALL BE COVERED (PAGES) FOR REINFORCING SHALL BE PROVIDED, EXCEPT AS NOTED OTHERWISE.

MINIMUM COVER (INCHES)
ONLY ADJUST AND PROPORTIONALLY COVERED TO EARTH - 3"
EXPOSED TO EARTH OR WEATHER - 3"
IN THICKNESS - 2"
IN THICKNESS - 5/8"

TESTS
CONCRETE MATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE ENGINEER AS THE WORK PROGRESSES. FAILURE TO SELECT ANY DEFECTIVE WORK OR MATERIALS, SHALL BE IN ANY WAY PREVENT LATER REJECTION WHEN SUCH DEFECT IS DISCOVERED WORK SHALL IT OBLIGATE THE ENGINEER FOR FINAL ACCEPTANCE.

A FIVE CONCRETE TEST CYLINDERS SHALL BE TAKEN OF THE TOWER PER FOUNDATION. TWO SHALL BE TESTED BY SPLITTING, TWO BY COMPRESSIVE, ONE BY TENSILE. THE OTHER CYLINDERS SHALL BE KEPT SEPARATELY, IF REQUIRED TO BE USED IN THE FUTURE.

ONE ADDITIONAL TEST CYLINDER SHALL BE TAKEN DURING EACH POURS AND CURED (UNDER SAME CONDITIONS AS CONCRETE) REPRESENTATIVE.

ONE (1) CEMENT TEST SHALL BE TAKEN FOR EACH SET OF TEST CYLINDERS TAKEN.

PLACING CONCRETE
A. THE ENGINEER SHALL BE NOTIFIED NOT LESS THAN 24 HOURS IN ADVANCE OF CONCRETE PLACEMENT, UNLESS INSPECTION IS WAIVED IN WRITING. PLACING OF CONCRETE SHALL BE PERFORMED ONLY IN THE PRESENCE OF THE ENGINEER. CONCRETE SHALL NOT BE PLACED UNTIL ALL PREVIOUS WORK, INCLUDING FORMS, BRACE, AND JOINTS INVOLVED IN THE PLACING HAVE BEEN APPROVED, AND UNTIL FACILITIES ACCEPTABLE TO THE VERIZON WIRELESS REPRESENTATIVE HAVE BEEN PROVIDED AND MADE READY FOR ACCOMPLISHMENT OF THE WORK AS SPECIFIED. CONCRETE ANY NOT BE COVERED FOR PLACEMENT UNTIL ALL FORMS HAVE BEEN APPROVED AND VERIZON WIRELESS HAS PERFORMED A FINAL INSPECTION AND GIVEN APPROVAL TO START PLACEMENT SHOWN.

PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 308.

PROTECTION
A. IMMEDIATELY AFTER PLACING, THE CONTRACTOR SHALL PROTECT THE CONCRETE FROM FURTHER DAMAGE, INCLUDING FROM EXCESSIVE TEMPERATURES, AND MECHANICAL INJURY, FINISHED WORK SHALL BE PROTECTED.

CONCRETE SHALL BE MAINTAINED WITH MINIMUM MOISTURE LOSS AT RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD NECESSARY FOR HYDRATION OF CEMENT AND HARDENING OF CONCRETE.

ALL CONCRETE SHALL BE WATER CURED BY CONTINUOUS PUMPING PERIODICLY FOR NEXT 7 DAYS OR EQUIVALENT ALL EXPOSED SURFACES. WATER SHALL BE CLEAN AND FREE FROM ACID, OIL, GREASE, AND OTHER MATERIALS. SUCCESSFUL CURING SHALL BE OBTAINED BY USE OF AN AMPLIFIED WATER SUPPLY UNDER PRESSURE IN PUMP, WITH ALL NECESSARY APPLIANCES OF SPRING NOZZLES, AND SPRAYING DEVICES.

SECTION 2 - STRUCTURE STEEL

STEEL FABRICATED AND/OR STRUCTURAL STEEL IN ACCORDANCE WITH THE LATEST EDITION OF STEEL CONSTRUCTION (AISC) AND PLANS AND THE AISC BUILDING CODE. STRUCTURAL STEEL SHALL BE AS FOLLOWS:

- ASTM A572, GRADE 50, ROLLED, ATHER, ROLL, PLATE, LATCHES AND ANCHOR BOLTS.
- ASTM A325, GRADE 50, BEARING TYPE.
- ALL STEEL SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A780.

THE CONTRACTOR SHALL PROVIDE NECESSARY SHORING AND/OR BRACING WHERE REQUIRED DURING CONSTRUCTION UNTIL ALL CONNECTIONS ARE COMPLETE.

ANY FIELD CHANGES OR SUBSTITUTIONS SHALL HAVE PRIOR APPROVAL FROM THE ENGINEER AND VERIZON PROJECT MANAGER IN WRITING.

TIGHTEN HIGH STRENGTH BOLTS TO A DRUG TIGHT CONNECTION WHERE ALL PILES IN A JOINT ARE IN FULL CONTACT BY EITHER:

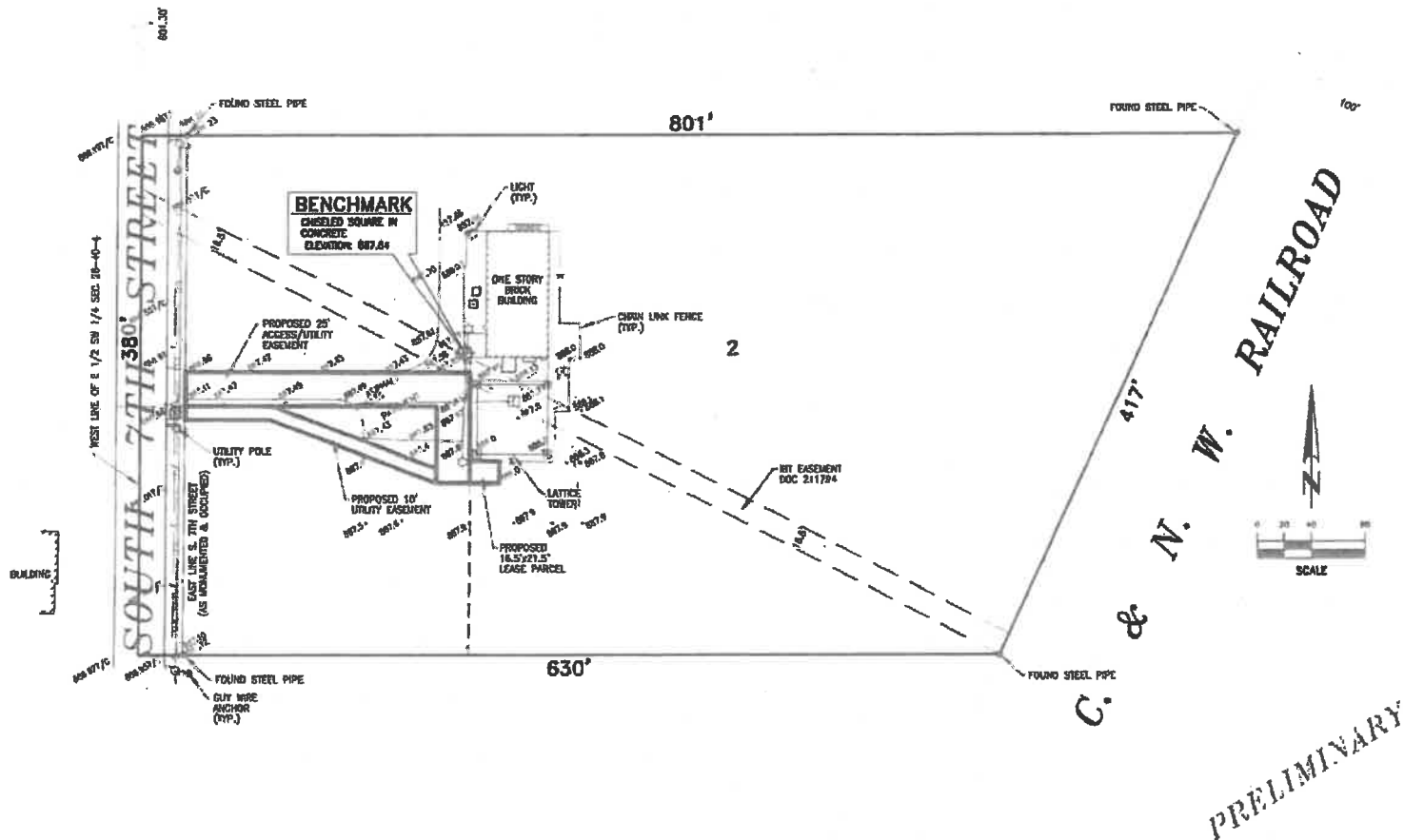
- A. PERMITS OF A IMPACT WRENCH
- B. THE FULL EFFORT OF A PERSON USING A SPREAD WRENCH.

WELDING
A. ALL WELDING SHALL BE DONE BY CERTIFIED WELDER. CERTIFICATION DOCUMENTS SHALL BE MADE AVAILABLE FOR ENGINEER AND/OR OWNER REVIEW IF REQUESTED.

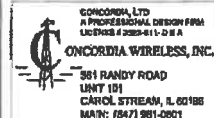
WELDING ELECTRODES FOR SHIELD METAL ARC WELDING SHALL CONFORM TO ASTM A-5.5, E7018, E8018, E8020, E8024, E8026, E8028, E8029, E8030, E8031, E8032, E8033, E8034, E8035, E8036, E8037, E8038, E8039, E8040, E8041, E8042, E8043, E8044, E8045, E8046, E8047, E8048, E8049, E8050, E8051, E8052, E8053, E8054, E8055, E8056, E8057, E8058, E8059, E8060, E8061, E8062, E8063, E8064, E8065, E8066, E8067, E8068, E8069, E8070, E8071, E8072, E8073, E8074, E8075, E8076, E8077, E8078, E8079, E8080, E8081, E8082, E8083, E8084, E8085, E8086, E8087, E8088, E8089, E8090, E8091, E8092, E8093, E8094, E8095, E8096, E8097, E8098, E8099, E8100, E8101, E8102, E8103, E8104, E8105, E8106, E8107, E8108, E8109, E8110, E8111, E8112, E8113, E8114, E8115, E8116, E8117, E8118, E8119, E8120, E8121, E8122, E8123, E8124, E8125, E8126, E8127, E8128, E8129, E8130, E8131, E8132, E8133, E8134, E8135, E8136, E8137, E8138, E8139, E8140, E8141, E8142, E8143, E8144, E8145, E8146, E8147, E8148, E8149, E8150, E8151, E8152, E8153, E8154, 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LOT 2 OF FIRST ADDITION TO C. BRADY INDUSTRIAL SUBDIVISION, BEING A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 4 EAST OF THE THIRD PRINCIPAL MERIDIAN, AS PER THE PLAT THEREOF RECORDED AUGUST 9, 1961, IN THE RECORDER'S OFFICE OF DEKALB COUNTY, ILLINOIS, AS IN BOOK L OF PLATS, PAGE 64. AS DOCUMENT NUMBER 308513, SITUATED IN DEKALB COUNTY.

NORTH LINE OF SW 1/4 SEC 28-40-4



limited partnership
d/b/a VERIZON WIRELESS



1	7/2/98	Preliminary
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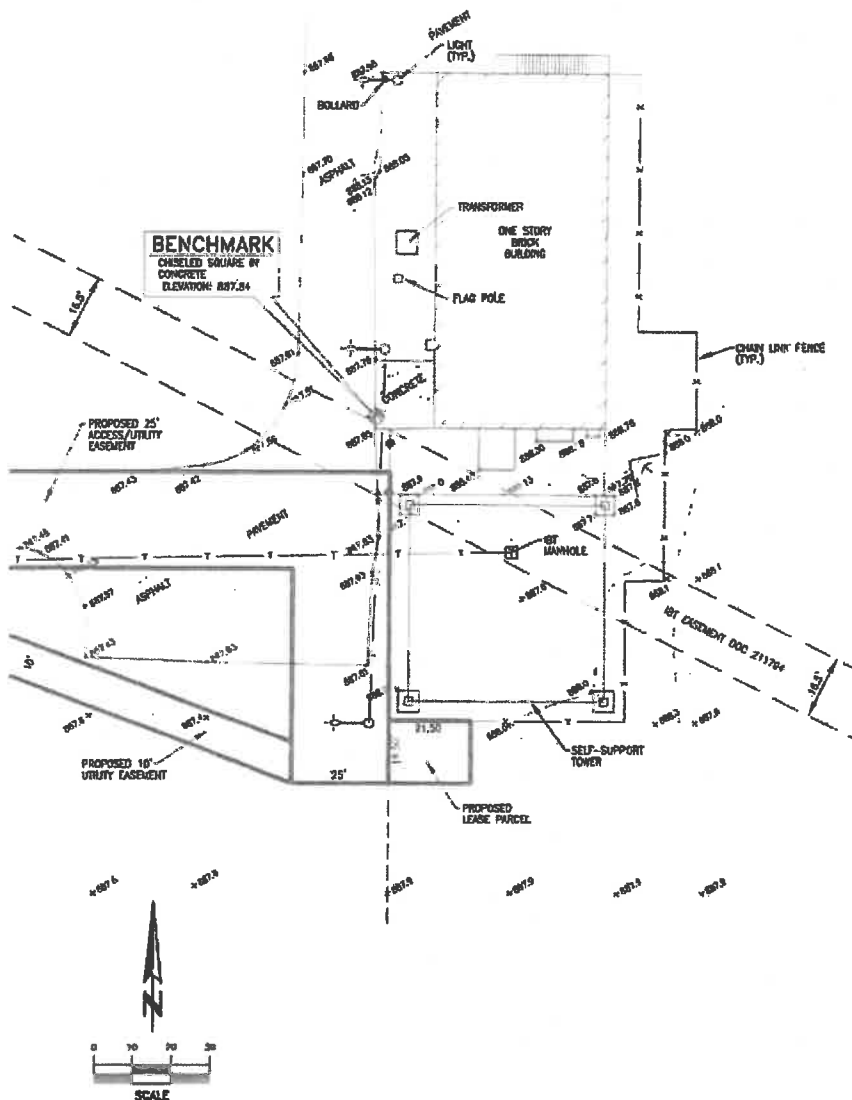
LANDMARK
 2706 WEST 103RD STREET
 PALOS HILLS, ILLINOIS 60465-1818
 Phone (708) 582-3737
 PROJECT No. (H-25-11)

**VERIZON - 283621
20141009837
STATE HWY 23
& FAIRVIEW AVENUE
1500 SOUTH TTH STREET
DEKALB, IL
DEKALB COUNTY**

SITE SURVEY

SHEET NUMBER

55 1 OF 2



NOTES

1. BEARINGS, IF ANY, SHOWN HEREON REFER TO TRUE NORTH DETERMINED BY GPS MEASUREMENT.
2. ELEVATIONS SHOWN ARE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
3. BENCHMARK: CHISELED SQUARE IN CONCRETE LOCATED AS SHOWN: ELEVATION: 887.84
4. AFFECTS PERMANENT TAX INDEX NUMBER: 08-26-328-002.
5. SURFACE EVIDENCE OF UNDERGROUND IMPROVEMENTS, IF ANY, SHOWN HEREON IS BASED ON PHYSICAL OBSERVATIONS OF UTILITY MARKINGS, IF ANY, SHOWN HEREON ACCORDING TO J.U.L.L.E. LOCATE PERFORMED MAY 30, 2019, PER DIG TICKET NUMBER A1482341, AS FOUND IN FIELD. VERIFICATION OF LOCATION OF UNDERGROUND UTILITIES SHOULD BE PERFORMED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION.
6. NO TITLE WORK WAS PROVIDED FOR USE IN THE PREPARATION OF THIS SITE SURVEY. SUBJECT PROPERTY LEGAL DESCRIPTION SHOWN HEREON WAS PREPARED FOR THE PURPOSE OF THIS SITE SURVEY ONLY USING INFORMATION FROM PLAT OF SURVEY NUMBER 9519-40-4-26C-03, DATED MARCH 18, 2018, ISSUED BY CONSOLIDATED LAND SURVEYING, INC., PROVIDED BY CLIENT. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO DEEDS, ABSTRACTS, TITLE POLICIES, SEARCHES OR COMMITMENTS, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.
7. THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN UNSHADED FLOOD ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR DEKALB COUNTY, ILLINOIS, ON FLOOD INSURANCE RATE MAP PANEL NUMBER 17037C0275E, DATED JANUARY 2, 2009.
8. CENTER OF EXISTING SELF SUPPORT TOWER:
NAD 83

LATITUDE NORTH 41°54'44.57" (41.91238°)
LONGITUDE WEST 88°44'51.37" (88.74760°)

WITHIN TOLERANCES SET BY FAA IN 1A, CERTIFICATE REQUIREMENTS.

9. A.M.S.L. HEIGHT OF GROUND	ELEVATION: 888
A.M.S.L. HEIGHT OF CENTER LINE OF DISH ANTENNA	ELEVATION: 970
A.M.S.L. HEIGHT OF CENTER LINE OF ANTENNA	ELEVATION: 1084
A.M.S.L. HEIGHT OF PLATFORM	ELEVATION: 1152
A.M.S.L. HEIGHT OF CENTER LINE OF DISH ANTENNA	ELEVATION: 1161
A.M.S.L. HEIGHT OF PLATFORM	ELEVATION: 1167
A.M.S.L. HEIGHT OF CENTER LINE OF DISH ANTENNA	ELEVATION: 1176
A.M.S.L. HEIGHT OF TOP OF DISH ANTENNA	ELEVATION: 1180
A.M.S.L. HEIGHT OF TOP OF BEACON	ELEVATION: 1182

WITHIN TOLERANCES SET BY FAA IN 1A CERTIFICATE REQUIREMENTS.

10. TOPOGRAPHICAL INFORMATION AND IMPROVEMENTS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS PERFORMED JUNE 5, 2018.
11. THIS SITE SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY OF THE SUBJECT PROPERTY.

CHICAGO SMSA

limited partnership
dba/ VERIZON WIRELESS

CONCORDIA LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 000-011-03-A
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MARK (847) 681-0801

1	2/9/18	PRELIMINARY
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LANDMARK
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
Phone (708) 590-5137
PROJECT No. 19-05-111

VERIZON - 285821
20141009637
STATE HWY 23
8 FAIRVIEW AVENUE
1500 SOUTH 7TH STREET
DEKALB, IL
DEKALB COUNTY

SHEET TITLE
SITE SURVEY

SHEET NUMBER
SS 2 OF 2

PRELIMINARY



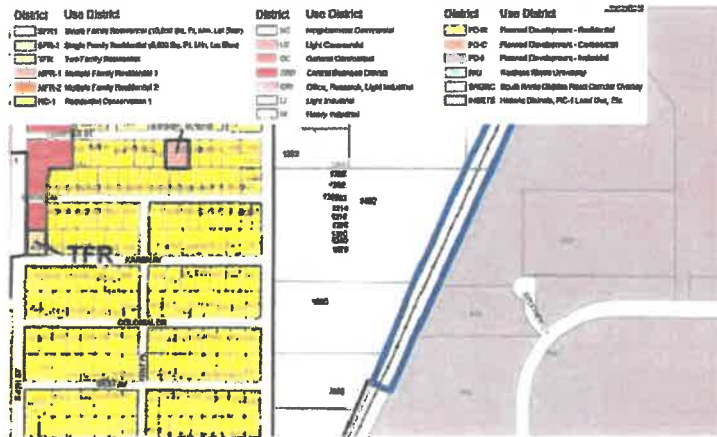
WETLAND INFO:
THE PROJECT SITE "DOES NOT" APPEAR TO BE LOCATED WITHIN A WETLAND AREA, AS PER U.S. FISH AND WILDLIFE ONLINE MAPPER SERVICE TOOL

CHICAGO SMSA limited partnership d/b/a VERIZON WIRELESS

CONCORDIA LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 0335411-0.D.B.A.
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60150
PHONE: (630) 681-0801

DRAWN BY: SS CHECKED BY: PO
CHECKED BY: RH APPROVED BY: GMS

1 AERIAL VIEW
SCALE: N.T.S.

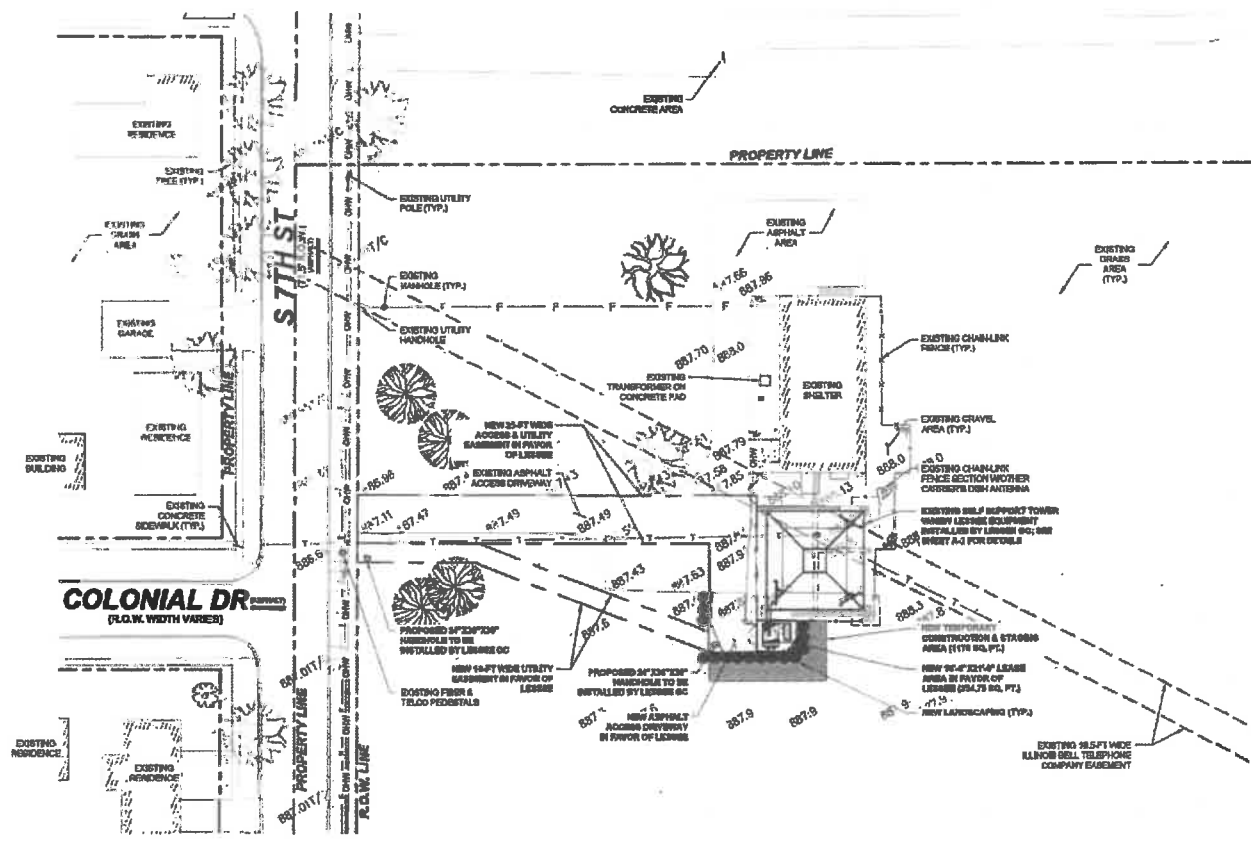


	UTILITY POLE
	BENCH
	FIBER PEDISTAL
	FIRE HYDRANT
	LIGHT STANDARD
	INLET
	CATCH BASIN
	MANHOLE
	TRAFFIC SIGNAL
	IRON WASHER
	IRON PIPE CAP
	IRON PIPE FLANGE
	BUFFALO BOX
	GROUNDING TEST WELL
	VALVE
	HORIZONTAL CONTROL POINT
	GENERATOR RECEPTACLE
	HANDICAPPED PARKING SPACE
	DTG/CLOCK TIME WISE
	CTG/CLOCK TIME WISE
	DRUM
	TREE LINE
	CONTOUR ELEVATION
	EASEMENT BOUNDARY
	CHAIN LINK FENCE
	VANDAL FENCE
	WOOD FENCE
	OVERHEAD WATER
	LEASE AREA LINE
	UTILITY EASEMENT LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD GAS LINE
	UNDERGROUND GAS LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND TELECOMMUNICATIONS LINE
	UNDERGROUND STORMWATER SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND COMMUNICATION/WATER LINE
	CONCRETE
	ASPHALT
	GRAVEL
	CULTIVATED FIELD
	GRASS AREA
	ICE BINDING
	STEEL PLATFORM

1. GC TO HAVE PUBLIC UTILITIES PRIVATE LOCATE SERVICES IN ORDER TO LOCATE AND PROTECT ANY AND ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOWGRADE UTILITIES.

2. THERE PLANS MAY NOT CONTAIN OR REVEAL ALL SUBSURFACE UTILITIES. GC IS RESPONSIBLE OF LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION.

3. GC WILL NOT START CONSTRUCTION UNTIL AFTER THEY RECEIVE THE PRE CON PACKAGE AND HAVE A PRE CON MEETING WITH THE PLA.



1 OVERALL SITE PLAN
SCALE: 1"=30' (1"=60' F) 11X17 SHEET SIZE



IMPORTANT NOTES:

1. LESSEE AG TO PROTECT EXISTING TREES DURING CONSTRUCTION.
2. LESSEE AG TO RESTORE SITE TO CONDITION FROM PRIOR TO CONSTRUCTION OR BETTER.

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 1322-091 - C.S.A.

CONCORDIA WIRELESS, INC.

301 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
PHONE: (312) 981-0801

DRAWN BY: BB	CHECKED BY: PG
CHECKED BY: FKH	APPROVED BY: GMS

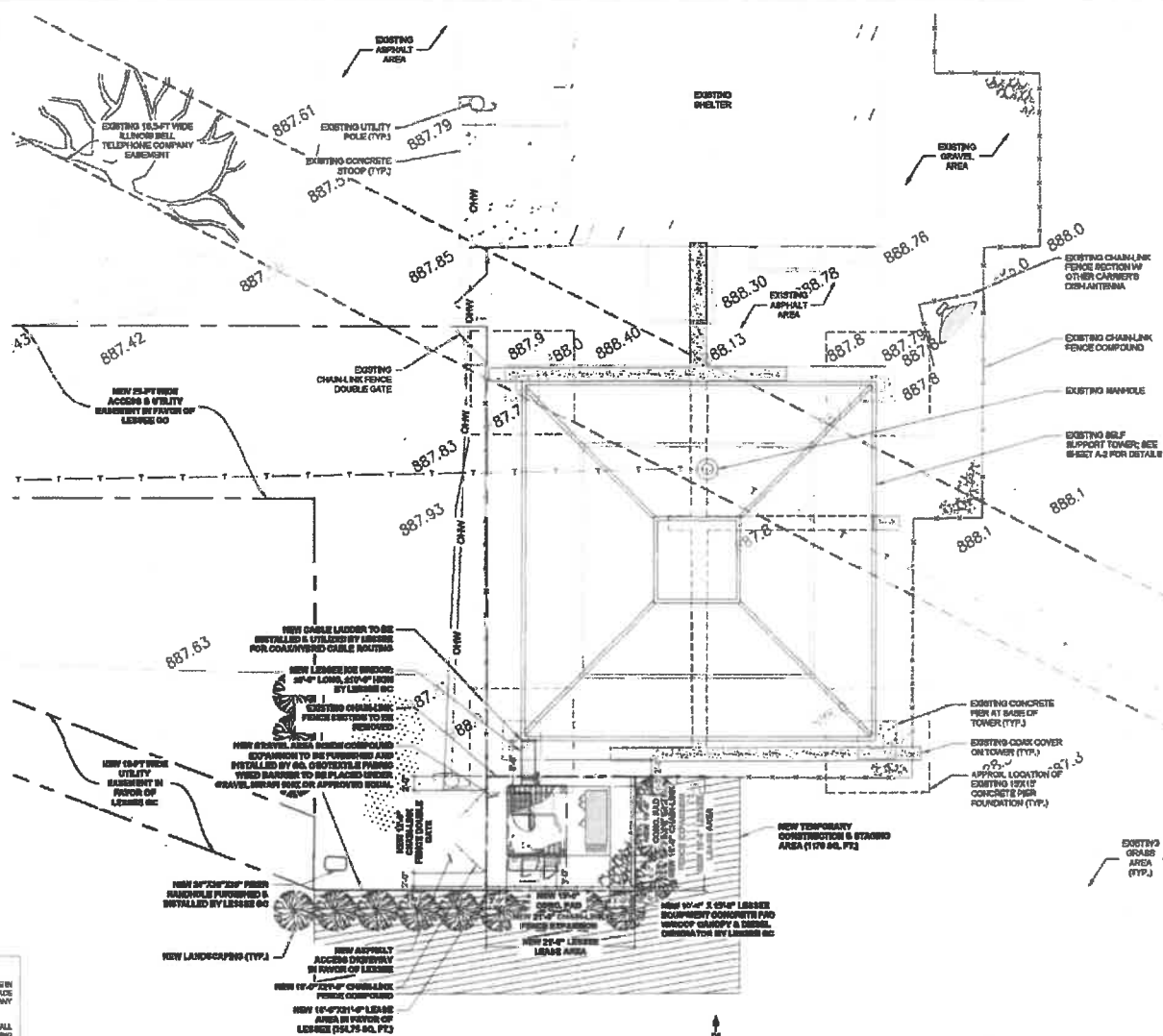
PROJECT # 2014100837
VZW LOCATION # 285821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
SITE PLAN

A-0

	UTILITY POLE
	BOX
	FIBER PEDESTAL
	PRESENTING
	LIGHT STANDARD
	INLET
	CATCH BASIN
	MANHOLE
	ACCESS MANHOLE
	MAN PIPE RISER
	IRON PIPE RISER
	BUFFALO ROCK
	SURROUNDING TREE WELL
	VALVE BOX
	HORIZONTAL CONTROL POINT
	SIGNIFICATION RECEPTACLE
	MANICURED PARKING SPACE
	DECIDUOUS TREE
	CONIFEROUS TREE
	BRUSH
	TREE LINE
	CONTOUR LINE
	EXISTING GROUND
	CHAIN LINK FENCE
	VINYL FENCE
	WOOD FENCE
	OVERHEAD POWER
	UNDERGROUND LINE
	UTILITY EASEMENT LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND FIBER OPTIC LINE
	UNDERGROUND CHEMICAL LINE
	UNDERGROUND GAS LINE
	UNDERGROUND TELECOMMUNICATION LINE
	UNDERGROUND STORMWATER SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND COMMUNICATION LINE
	CONCRETE
	ASPHALT
	GRAVEL
	CULTIVATED FIELD
	GRASS AREA
	SILT BLOCKS
	BSP PLATFORM

1. GC TO FIRST PUBLIC UTILITIES PRIVATE LOCATE SERVICE IN ORDER TO LOCATE AND PROTECT ANY AND ALL SURFACE UTILITIES. DO NOT SCALE OFF THESE PLANS FOR ANY BELOW GRADE UTILITIES.
2. THESE PLANS MAY NOT CONTAIN OR REVEAL ALL SUBSURFACE UTILITIES. GC IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION.
3. GC WILL NOT START CONSTRUCTION UNTIL AFTER THEY RECEIVE THE PRE CON PACKAGE AND HAVE A PRE CON WALK WITH THE PM.

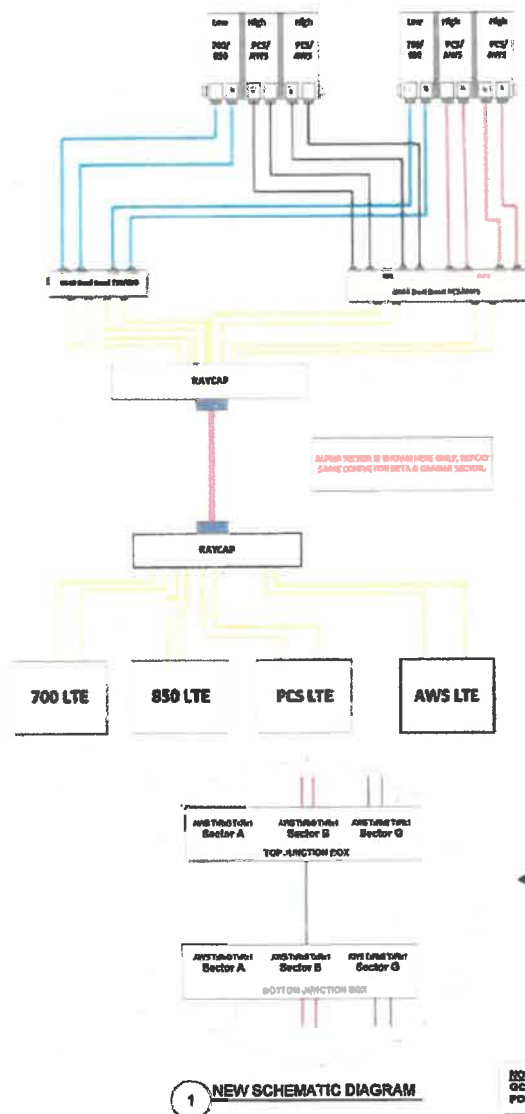


SCALE: 3/16"=1'-0" (3/16"=2'-0" IF 11X17 SHEET SIZE)

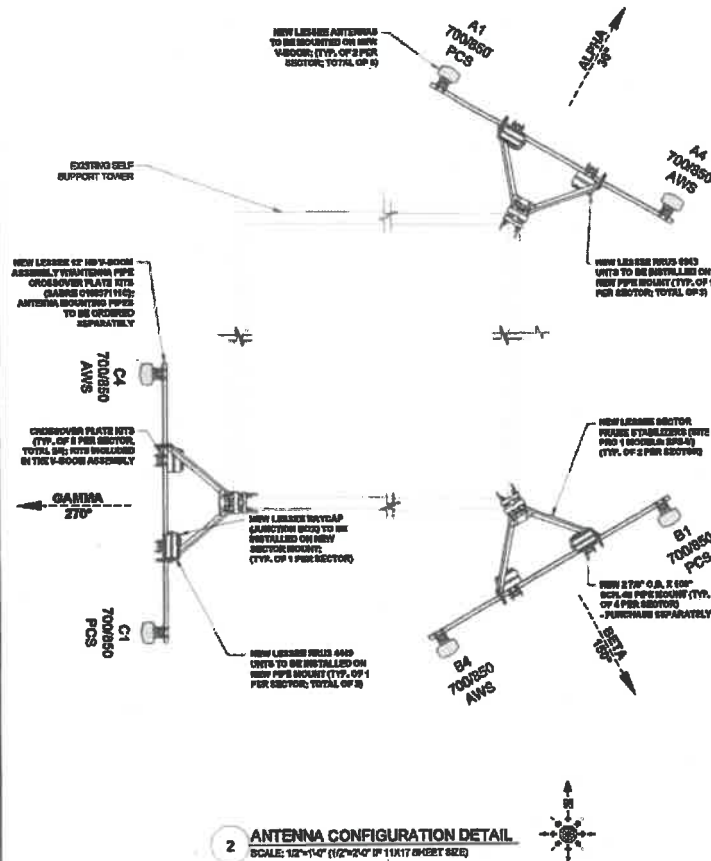
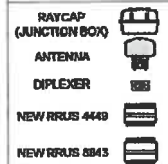


A-1





EQUIPMENT LEGEND



**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 022-015-0000

CONCORDIA WIRELESS, INC.
351 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MADE (647) 884-0801

DRAWN BY: SB CHECKED BY: PS
CHECKED BY: PH APPROVED BY: CMS

PROJECT # 2014100937
VZW LOCATION # 236221
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

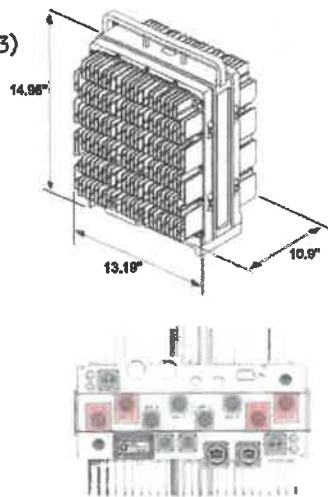
NEW Schematic
DIAGRAM AND ANTENNA
CONFIGURATION DETAIL

SHEET NUMBER:
A-3A

RADIO 8843 - B2 + B66A (PREV 4443)
4TX 4RX PER BAND

Dimensions		
Depth	277 mm	10.9 in
Height	380 mm	14.96 in
Width	335 mm	13.19 in
Weight	32.6 kg	71.87 lb

Description	Value
Frequency ⁽¹⁾	1850-1910 MHz uplink
	1930-1990 MHz downlink
	32
	1740-1785 MHz uplink
	2110-2150 MHz downlink
	500A
Maximum nominal output power ⁽²⁾	4-42 W (EIRP) = 4-42 W (SPPA)
	or
	2-60 W (EIRP) = 2-60 W (SPPA)
	or
	4-26 W (EIRP) = 4-26 W (SPPA)
	(License fee is required for total power over 4.5 W)

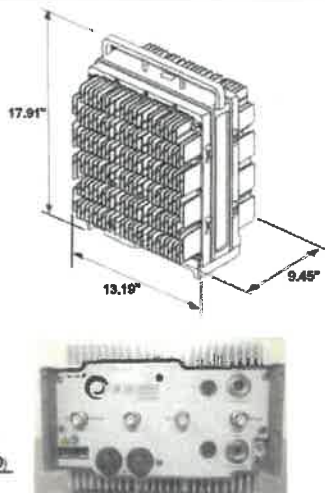


NEW ERICSSON RADIO 8843 (AWS/PCS)

RADIO 4449 - B13 + B5
4TX 4RX PER BAND

Dimensions		
Depth	240 mm	9.45 in
Height	455 mm	17.91 in
Width	335 mm	13.19 in
Weight	32 kg	70.55 lb

Power/Power Frequency	Value
	625-840 MHz uplink 850-960 MHz downlink IS for LTE
	777-787 MHz uplink 740-750 MHz downlink SIS for LTE
Maximum nominal output power (1) (2)	55, 4-40 W, S15; 4-40 W S2; 2-30 W, S12; 2-30 W (License key is required for total output power over 2x10 W.)



3 NEW ERICSSON RADIO 4449 (700/850)



N5-H-65B-R28

NH-65BR28
6-part nickel antenna, 2x 570-575 and 4x 1675-2360 MHz, 25° HPBW, 2x RX. Both high bands share the same electrical UZ.

- Turnaround digital technology providing for attractive, low wind load mechanical package.
- Internal ERT on low and high band allow remote RET control from the radio over the RF junction cable.
- Separate RS-422 RET input/output for low and high band.
- One RET for low band and one RET for both high bands to ensure same UR level for 4x Rs or 4x MONG.

General Specifications

Operating Frequency Band	1695 ~ 2160 MHz 698 ~ 896 MHz
Antenna Type	Seiche
Band	All-band
Performance Note	Outdoor Usage
Total Input Power, maximum	600 W @ 30 °C

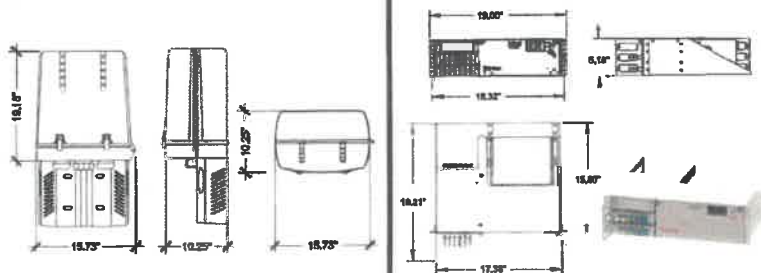
Mechanical Specifications

RF Connector Quantity, total	6
RF Connector Quantity, Row band	2
RF Connector Quantity, High Band	4
RF Connector Interface	7-16 DIN Female
Color	Light Gray
Grounding Type	RF connector body grounded to reflector and mounting bracket
Isomer Material	Low loss circuit board
Radome Material	Fiberglass, UV resistant
Reflector Material	Aluminum
RF Connector Location	Bottom
Wind Loading, frontal	200.0 lbf @ 150 mph 85.4 lbf @ 120 mph
Wind Loading, top/side	230.0 lbf @ 150 mph 81.7 lbf @ 120 mph
Wind Loading, maximum	637.0 lbf @ 150 mph 180.7 lbf @ 120 mph
Wind Speed, maximum	241 mph 100 km/h

Dimensions

Length	1029.0 mm 72.0 in
Width	396.0 mm 15.6 in
Depth	180.0 mm 7.1 in
Net Weight, with net mounting kit	19.9 kg 43.7 lb

2 NEW ANDREW ANTENNA DETAILS (NHH-85B-R2B)
SCALE: N.T.S.



Dimensions		
Depth	261.9 mm	10.3 in
Height	734.82 mm	28.93 in
Width	399.54 mm	15.73 in
Weight	14.5 kg	32.0 lb

NEW RAYCAP JUNCTION
BOX (RCMDC-3300-PF-48)
SCALE: N.T.S.

Dimensions		
Depth	487.93 mm	19.21 in
Height	131.50 mm	5.18 in
Width	482.60 mm	19.00 in
Weight	11.39 kg	25.10 lb

NEW RAYCAP RACK MOUNT
RM SERIES (RCMDC-4520-RM-48)
SCALE: N.T.S.

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 000-017-000A

CONCORDIA WIRELESS, INC.

— 381 RANDY ROAD —
UNIT 191
CAROL STREAM, IL 60188
MADE (847) 861-0801

DRAWN BY: JEB	CHECKED BY: PJB
CHECKED BY: RHL	APPROVED BY: OMS

PROJECT # 20141009837
VZW LOCATION # 288821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
EQUIPMENT DETAILS

TEST NAME
A-3B

	Current Version	Previous Version
Acoustic		
Cell/Voice B ID		
American Model		
Antenna Make		
Capacity (Ft)		
Mechanical BT (ton)		
Electrical BT		
The Month		
TMA model		
TMA model		
RRU model		
RRU model		
# of Tx, Rx Lines		
PwrOut		

	Current Version	Proposed Version
Sector		0002
Autumn		(1) (2) (3) (4)
CoverNode BTD		
Autumn Model		
Autumn Make		
CoverNode(PN)		
Mechanical BT(Dow.)		
Electrical OFF		
Trip Bridge		
TPA main		
VMA model		
RKE make		
RKE model		
# of P, R, L, H, S		
Fusion		

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Service Comments**Callsigns Per Antenna - Proposed**

Sector	Malice	Model	Center fr.	Tx Height	Air mass [MT]	Elec TWR	Out TWR	Site ID	Site IDV	Registra ry Power	700 Collage	700 Collage	1900 Collage	2100 Collage	34 GHz Collage	31 GHz Collage	39 GHz Collage
D2	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_0732	150M45.7 2m	154M44.9 4m	130	0	13.7 5	13.7	65	140.90	WQIQ991						
D1	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_0703	150M45.7 2m	154M44.9 4m	130	0	13.7 5	13.7	65	140.90	WQIQ991						
D3	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_0732	150M45.7 2m	154M44.9 4m	270	0	13.7 5	13.7	65	140.90	WQIQ991						
D2	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_0800	150M45.7 2m	154M44.9 4m	130	0	13.3 89	13.3	58.5	+15.41	IKNKA20 0						
D1	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_0800	150M45.7 2m	154M44.9 4m	130	0	13.3 89	13.3	58.5	+15.41	IKNKA20 0						
D2	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_0800	150M45.7 2m	154M44.9 4m	270	0	13.3 89	13.3	58.5	+15.41	IKNKA20 0						
D2	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_1930	150M45.7 2m	154M44.9 4m	130	0	15.2 5	15.2	66.2	659.08	IKNLF207						
D1	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_1930	150M45.7 2m	154M44.9 4m	20	0	15.2 5	15.2	66.2	659.08	IKNLF207						
D1	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_1930	150M45.7 2m	154M44.9 4m	270	0	15.2 5	15.2	66.2	659.08	IKNLF207						
D1	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_2110	150M45.7 2m	154M44.9 4m	130	0	15.6 13	15.6	66.3	177.49	WQQA99 2, WQQA99 64						
D1	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_2110	150M45.7 2m	154M44.9 4m	20	0	15.6 13	15.6	66.3	177.49	WQQA99 2, WQQA99 64						
D3	COMBES COPE	NHH-45C- R2B, PORT 1 43_00DT_2110	150M45.7 2m	154M44.9 4m	270	0	15.6 13	15.6	66.3	177.49	WQQA99 2, WQQA99 64						

Callsigns

CallSign	Market	Rails Code	Market Name	Block	State	Count	License Name	Wheel Count	Total PWR	Prog Range 1	Prog Range 2	Prog Range 3	Prog Range 4	Regul atory Power	Thurs hold (W)	POPs Sg/H	Status	Project Action
WISN-TV	Wisconsin	1-1	WISN-TV	1-1	WI	1	Class 1	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-2	WISN-TV	1-2	WI	1	Class 1	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WFLA90.5	Chicago, IL	LD	STARS	1	IL	1	Coffee Partnership	Yes	100.0	110.0-111.0	112.0-113.0	114.0-115.0	116.0-117.0	118.0-119.0	120.0-121.0	122.0-123.0	Active	
WFLA90.5	Chicago, IL	LD	STARS	2	IL	1	Coffee Partnership	Yes	100.0	110.0-111.0	112.0-113.0	114.0-115.0	116.0-117.0	118.0-119.0	120.0-121.0	122.0-123.0	Active	
WISN-TV	Wisconsin	1-3	WISN-TV	1-3	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-4	WISN-TV	1-4	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-5	WISN-TV	1-5	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-6	WISN-TV	1-6	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-7	WISN-TV	1-7	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-8	WISN-TV	1-8	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-9	WISN-TV	1-9	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-10	WISN-TV	1-10	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-11	WISN-TV	1-11	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-12	WISN-TV	1-12	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-13	WISN-TV	1-13	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-14	WISN-TV	1-14	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-15	WISN-TV	1-15	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-16	WISN-TV	1-16	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-17	WISN-TV	1-17	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-18	WISN-TV	1-18	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-19	WISN-TV	1-19	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-20	WISN-TV	1-20	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-21	WISN-TV	1-21	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-22	WISN-TV	1-22	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-23	WISN-TV	1-23	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-24	WISN-TV	1-24	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-25	WISN-TV	1-25	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-26	WISN-TV	1-26	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-27	WISN-TV	1-27	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-28	WISN-TV	1-28	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-29	WISN-TV	1-29	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-30	WISN-TV	1-30	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-31	WISN-TV	1-31	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-32	WISN-TV	1-32	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-33	WISN-TV	1-33	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-34	WISN-TV	1-34	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-35	WISN-TV	1-35	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-36	WISN-TV	1-36	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-37	WISN-TV	1-37	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-38	WISN-TV	1-38	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-39	WISN-TV	1-39	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-40	WISN-TV	1-40	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-41	WISN-TV	1-41	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-42	WISN-TV	1-42	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-43	WISN-TV	1-43	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-44	WISN-TV	1-44	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-45	WISN-TV	1-45	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-46	WISN-TV	1-46	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-47	WISN-TV	1-47	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-48	WISN-TV	1-48	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-49	WISN-TV	1-49	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-50	WISN-TV	1-50	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-51	WISN-TV	1-51	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-52	WISN-TV	1-52	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-53	WISN-TV	1-53	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-54	WISN-TV	1-54	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-55	WISN-TV	1-55	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-56	WISN-TV	1-56	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5	119.5-120.5	121.5-122.5	123.5-124.5	Active	Relocated
WISN-TV	Wisconsin	1-57	WISN-TV	1-57	WI	1	Coffee Partnership	Yes	11,000	111.5-112.5	113.5-114.5	115.5-116.5	117.5-118.5					

**CHICAGO
SMSA**

limited partnership
d/b/a VERIZON WIRELESS



CONDORSA, LTD
A PROFESSIONAL DESIGN FIRM
ISOTHERM 373-011-0000

ONCORDIA WIRELESS, INC.

381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60184
MAIL: (708) 961-0801

CROWN BY: 88 CHECKED BY: 78

CHECKED BY: RH APPROVED BY: OMB

**PROJECT # 20141009837
VZW LOCATION # 285821
STATE HWY 23 & FAIRVIEW DRIVE
1600 SOUTH 7TH STREET
DEKALB, IL 60115**

SHEET TITLE

RFDS SHEETS

SHEET NUMBER:

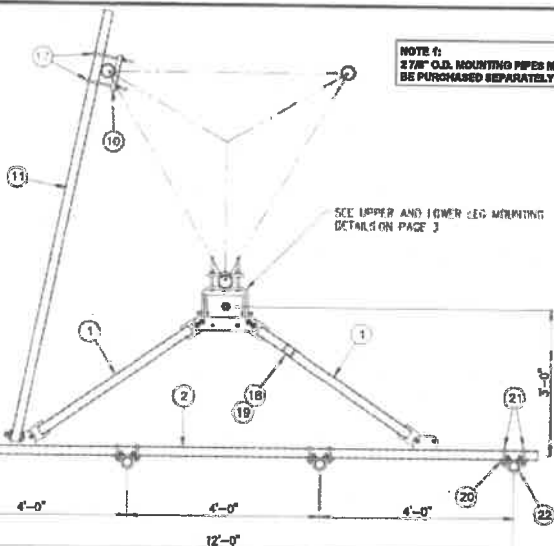
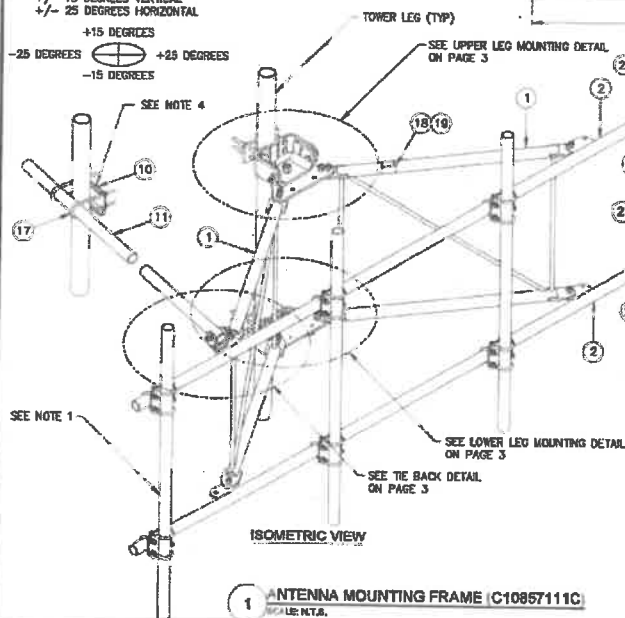
VZW A-3D

ITEM	QTY.	PART NO.	DESCRIPTION	WEIGHT
1.	2	CW01222	WELDMENT, STANDOFF ARM	126
2.	2	CW01223	WELDMENT, FACE PIPE	147
3.	2	CS03109	PLATE, ROTATING	34
4.	1	CS03110	PLATE, PIVOTING (UPPER)	16
5.	1	CS03111	PLATE, LEG CLAMP (UPPER)	17
6.	1	CS03112	PLATE, PIVOTING (LOWER)	14
7.	1	CS03113	PLATE, LEG CLAMP (LOWER)	17
8.	2	CS03114	PLATE, LEG CLAMP (BACK)	14
9.	1	CS00098	PLATE, TIE BACK SWIVEL	3
10.	1	CS03285	PLATE, TIE BACK CLAMP	4
11.	1	CS03333	PIPE, TIE BACK	38
12.	2	C40028073	BOLT ASSEMBLY, 1" X 3 A325	4
13.	8	C40140004	BOLT ASSEMBLY, 5/8" X 8 A307	13
14.	1	C40026033	BOLT ASSEMBLY, 5/8" X 4 1/2 A325	1
15.	12	C40028025	BOLT ASSEMBLY, 5/8" X 2 1/2 A325	8
16.	5	C40026024	BOLT ASSEMBLY, 5/8" X 2 1/4 A325	3
17.	2	C40034183	U-BOLT ASSEMBLY, 1/2" X 2 9/16 C-C	3
18.	1	Z30992001	MOUNT CLASSIFICATION TAG C10857001C	1
19.	2	C40082103	STAINLESS STEEL SELF-LOCKING CABLE TIE	1
20.	8	CS03116	CROSSOVER PLATE (2 3/8-2 7/8 PIPE)	34
21.	16	C40034139	U-BOLT ASSEMBLY, 1/2" X 2 15/16 C-C	13
22.	16	C40034140	U-BOLT ASSEMBLY, 1/2" X 3 7/16 C-C	14
TOTAL WEIGHT				523

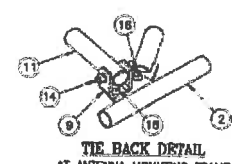
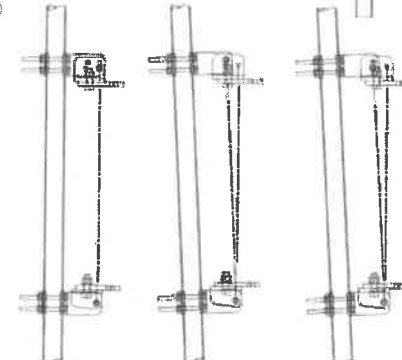
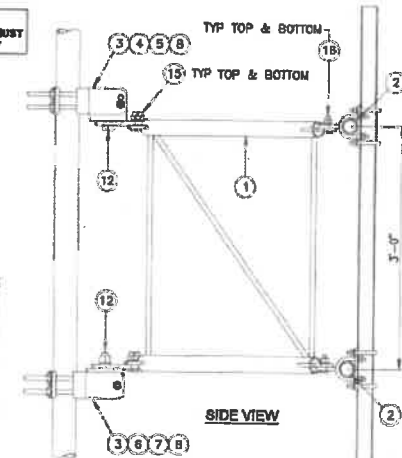
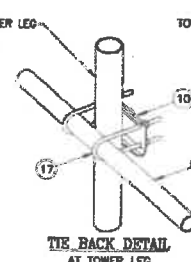
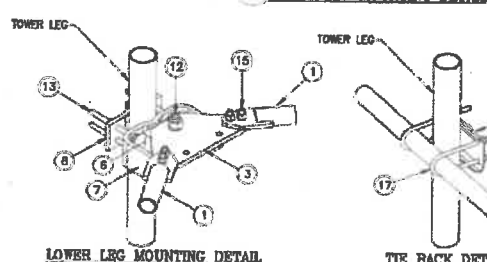
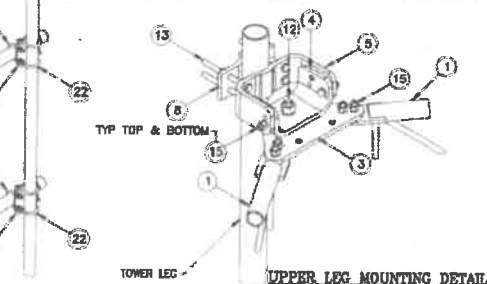
TIEBACK ANGLE RANGE DETAIL

+/- 15 DEGREES VERTICAL
+/- 25 DEGREES HORIZONTAL

+15 DEGREES
-25 DEGREES
-15 DEGREES



MOUNTING OPTIONS (SHOWING MOUNTING PIPE PLACEMENTS)



**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

ONCORTIA LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 3120-011-D.M.A.
ONCORTIA WIRELESS, INC.
381 RANDY ROAD
SUITE 101
CAROL STREAM, IL 60188
NAVE: (647) 981-9801

DRAWN BY: DB CHECKED BY: PB
CHECKED BY: RH APPROVED BY: GME

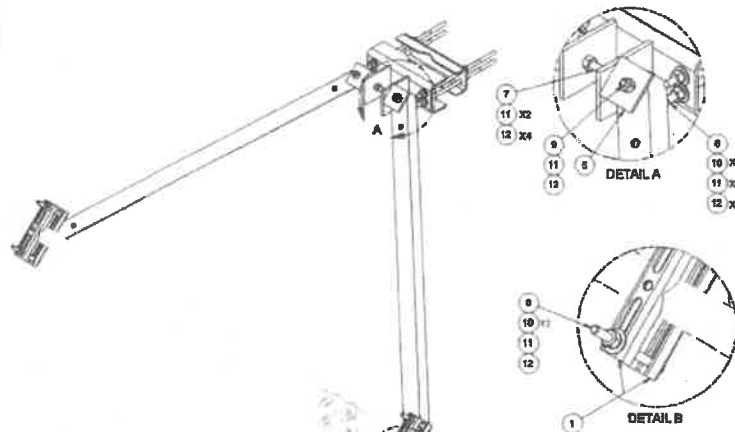
FOR REFERENCE
ONLY

PROJECT # 2014100837
VZW LOCATION # 285821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE
ANTENNA MOUNTING FRAME
BY SABRE INDUSTRIES

INSET NUMBER
A-4

NOTE 1:
2 7/8" O.D. MOUNTING PIPES MUST
BE PURCHASED SEPARATELY



SECTOR FRAME REINFORCING KIT ATTACHED TO EITHER EXISTING SECTOR
FRAME CROSS ARMS OR TO AN OPTIONAL HORIZONTAL ROUND MEMBER
(SHOWN SOLD SEPARATELY). IF PURCHASING OPTIONAL HORIZONTAL ROUND
MEMBER, CORRESPONDING CROSSOVER PLATE KIT WILL NEED TO BE
PURCHASED, ONE PER EXISTING ANTENNA MOUNTING PIPE.

TOWER LEG
1" TO 6" DIA. ROUND
1/4" TO 6" ANGLE
1/4" TO 6" ANGLE

05.2"
ADJUSTABLE

05"
ADJUSTABLE

28"
ADJUSTABLE

1" TO 4-12"
ROUNDS

37"
ADJUSTABLE

40"
ADJUSTABLE

SECTOR FRAME REINFORCING KIT ATTACHES TO EITHER EXISTING SECTOR
FRAME CROSS ARMS OR TO AN OPTIONAL HORIZONTAL ROUND MEMBER
(SHOWN SOLD SEPARATELY). IF PURCHASING OPTIONAL HORIZONTAL ROUND
MEMBER, CORRESPONDING CROSSOVER PLATE KIT WILL NEED TO BE
PURCHASED, ONE PER EXISTING ANTENNA MOUNTING PIPE.

ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	4	X-8TU	8TUP ARM CHANNEL BRACKET		1.37	5.48
2	2	X-2329T	TRPOHD DIAGONAL ANGLE - SITE PRO 1	32 1/2 in	14.21	28.42
3	1	C-75	LOWER GATE FOOT WELDED		12.72	12.72
4	1	C-80	GATE BACKING BAR		4.53	4.53
5	2	S-2424T	CHAIN MOUNT TIGHTENER BRACKET	3 in	1.04	2.08
6	4	G12R-15	1/2" x 15" THREADED ROD (HOG.)		0.25	2.20
7	4	G12R-12	1/2" x 12" THREADED ROD (HOG.)		0.58	2.32
8	1	G12R-6	1/2" x 6" GALV. THREADED ROD		0.39	0.39
9	4	G12R-5	1/2" x 5-1/2" HOG HEX BOLT (GSS FULL THREAD)	6 1/2 in	0.41	1.64
10	4	G12R-12	1/2" x 1-1/2" HOG HEX BOLT GRD	1 1/2 in	0.19	0.76
11	16	G12R-1W	1/2" HOG LBS FLATWASHER		0.33	5.28
12	16	G12R-1W	1/2" HOG LOCKWASHER		0.24	3.84
13	20	G12R-1T	1/2" HOG HEAVY 2H HEX NUT		0.07	1.40
TOTAL WT. #						66.89

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA LTD
APPROVED DESIGN FROM
LICENSE # 123456789-000A
CONCORDIA WIRELESS, INC.
301 RANNEY ROAD
UNIT 101
CAROL STREAM, IL 60188
NAI#: (847) 881-0808

DRAWN BY: BS CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

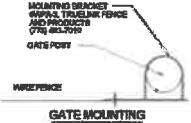
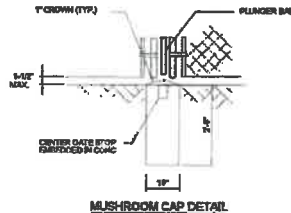
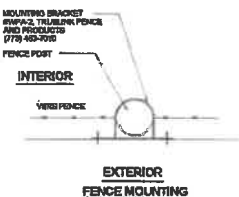
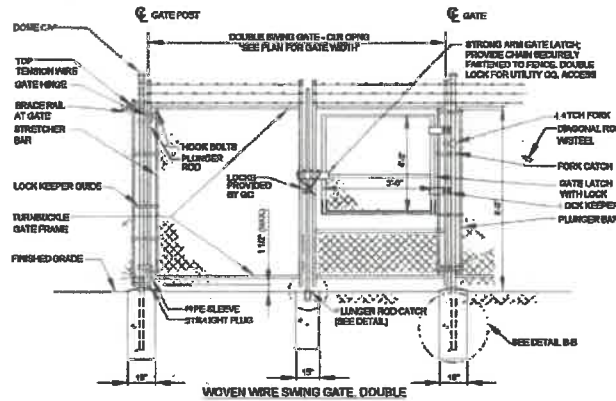
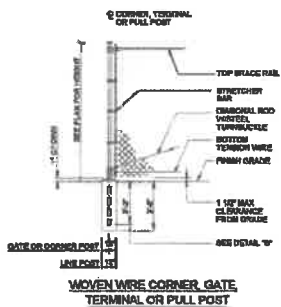
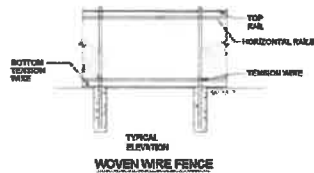
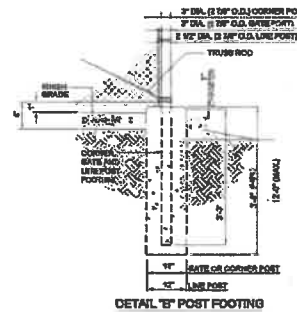
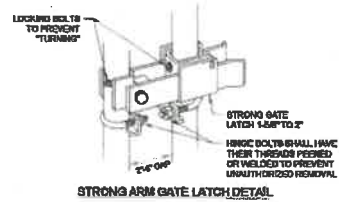
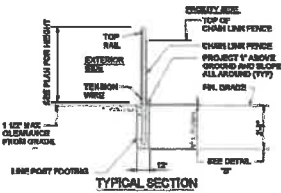
FOR REFERENCE
ONLY

PROJECT # 20141009137
VZW LOCATION # 255821
STATE HWY 52 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
**ANTENNA MOUNTING FRAME
STABILIZER BY SITE PRO 1**

SHEET NUMBER:
A-4A

1 ANTENNA MOUNTING FRAME STABILIZER (SFS-V)
SCALE: N.T.S.



GENERAL NOTES

1. NO SCREENING SHALL INTERFERE WITH RIGHT REQUIREMENTS FOR GATE INTERIOR AND EXTERIOR.
2. WIRE CONTROL FIBERS SHALL BEHIND UNDER ALL AREAS OF TURNED & DRIVE.
3. DURING CONSTRUCTION, GENERAL CONTRACTOR SHALL CONFORM TO THE FOLLOWING STANDARD PROCEDURES FOR EROSION CONTROL BASED ON "THE LUNDS PROCEEDURES FOR EROSION CONTROL AND RECONSTRUCTION CONTROL MANUAL, LATEST EDITION."
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING BELOW GRADE UTILITIES PRIOR TO CONSTRUCTION.

TYPICAL FENCING NOTES

1. INSTALL FENCING PER ASTM F-407, BOUND GATES PER ASTM F-403.
1. GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2\"/>

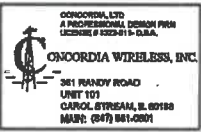
ATTENTION GC:

GC TO INSTALL BARBED WIRE TOWARD INTERIOR OF COMPOUND EXTENSION



1 NEW CHAIN LINK FENCE DETAILS & NOTES

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS



DRAWN BY: SB CHECKED BY: PE
CHECKED BY: RH APPROVED BY: GMS

PROJECT # 20141000837
V2W LOCATION # 205821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
CHAIN-LINK FENCE DETAILS

SHEET NUMBER:
A-5

NOTES:

1. THE GPS ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/2" DIA. SCH. 40 GALVANIZED OR STAINLESS STEEL PIPE. THE PIPE MUST BE THREADED AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED LENGTH (MIN. OF 18") USING A WIND OR ROTARY PIPE CUTTER TO ASSURE A SMOOTH PERPENDICULAR CUT. THE CUT PIPE END SHALL BE DEBURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE NEOPRENE GASKET ATTACHED TO THE ANTENNA MOUNT.

2. THE MOUNTING PLATE SHALL BE FABRICATED AS SHOWN AND ATTACHED TO THE APPROPRIATE SUPPORT STRUCTURE USING U-BOLTS. THE SUPPORT PIPE FOR THE GPS SHALL BE MOUNTED USING OVERSIZED U-BOLTS TO ALLOW ADJUSTMENT. IT IS CRITICAL THAT THE GPS ANTENNA IS MOUNTED WITHIN 2" OF VERTICAL AND THIS BASE OF THE ANTENNA IS WITHIN 2" LEVEL.

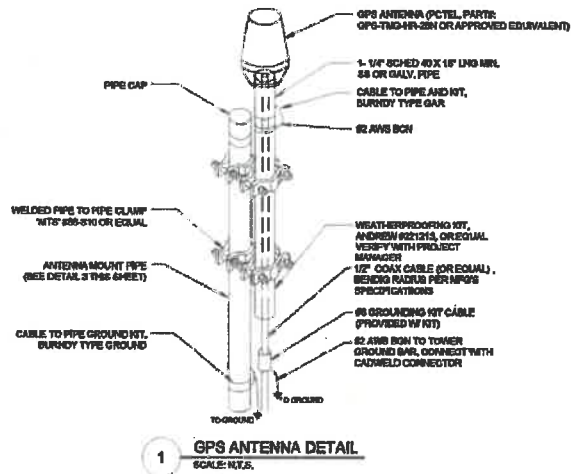
3. INSTALL GPS ANTENNA AS SPECIFIED ON SITE PLAN. IF INSTALLING ON ICE/CABLE BRIDGE ENSURE THAT GPS IS A MINIMUM 66 10' ABOVE GRADE, ON THE FURTHEST POST FROM THE TOWER TO ATTAIN MAXIMUM COVERAGE.

4. GPS ANTENNA(S) TO BE FURNISHED & INSTALLED BY GC. (TYP. OF 2)

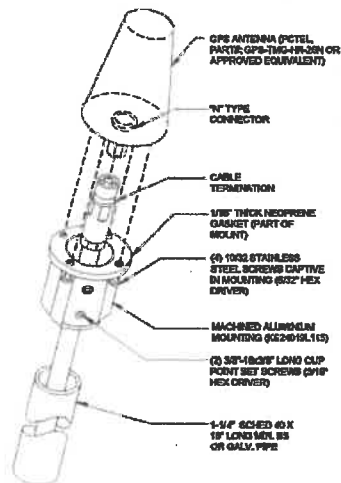
5. MAINTAIN MINIMUM SPACING BETWEEN ANTENNA HEADS OF 18".



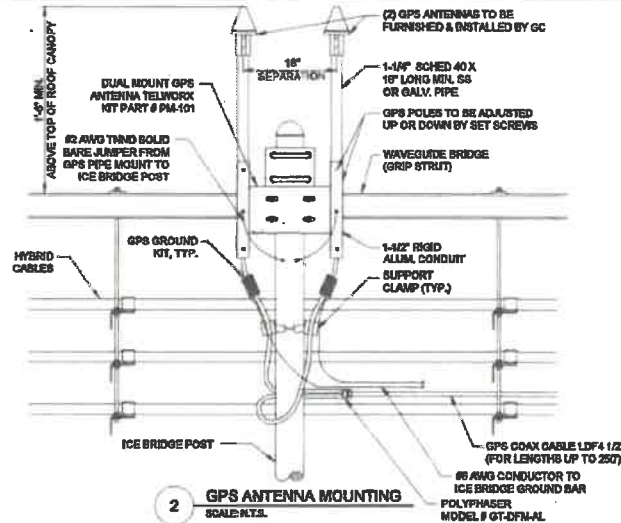
EXAMPLE INSTALLATION



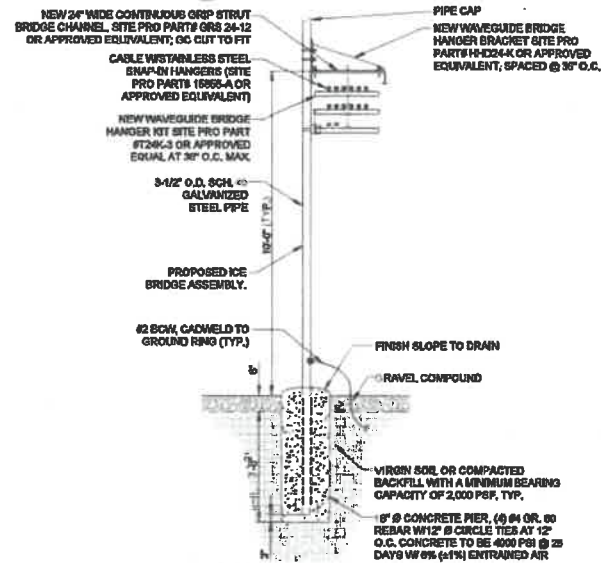
1 GPS ANTENNA DETAIL
SCALE: N.T.S.



3 GPS ANTENNA MOUNTING
SCALE: N.T.S.



2 GPS ANTENNA MOUNTING
SCALE: N.T.S.



4 ICEBRIDGE DETAIL
SCALE: N.T.S.

CHICAGO SMSA
limited partnership
dba VERIZON WIRELESS

CONCORDIA, LTD.
A PROPOSITIONAL DESIGN FIRM
LICENSE # 523-011-03-A
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (947) 981-0801

DRAWN BY: BS CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

PROJECT # 20141008937
VZWL LOCATION # 265821
STATE HWY 22 & FAIRVIEW DRIVE
1600 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
**ICE BRIDGE & GPS
ANTENNA DETAILS**

SHEET NUMBER:
A-5A

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

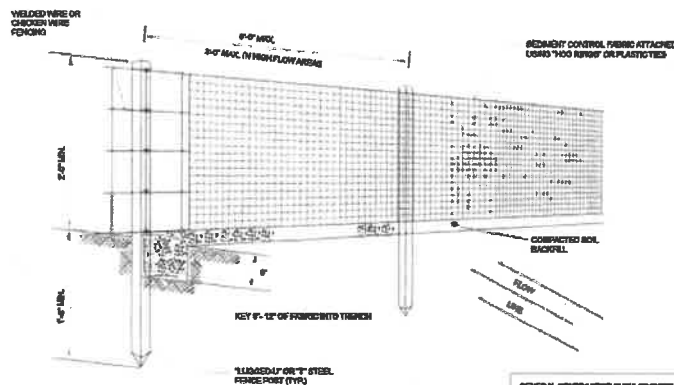
CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 003-011-DLLA
CONCORDIA WIRELESS, INC.
381 RANNEY ROAD
UNIT 101
CAVAL STREET, IL 60118
PHONE (847) 961-0327

DRAWN BY: SB CHECKED BY: PS
CHECKED BY: BH APPROVED BY: GMS

PROJECT # 20141000837
VZW LOCATION # 235521
STATE HWY 23 & PARKVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE
**ARCHITECTURAL & CIVIL
DETAILS**

SHEET NUMBER
A-5B



1 SOIL EROSION CONTROL
SCALE: N.T.S.

GENERAL CONTRACTOR SHALL PROVIDE AT
LEAST ONE SOIL EROSION CONTROL MEASURE
AROUND ALL EXCAVATIONS THAT HAVE A GRADE IN
EXCESS OF 18" OR HAVE OTHER
POTENTIAL FOR SOIL EROSION AND SOIL
RUN-OFF DURING THE CONSTRUCTION PHASE
OF THE PROJECT.

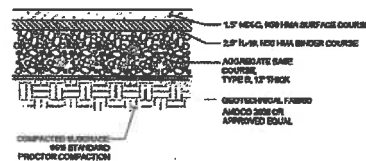
2) REBAR, PROTECT OR
2) 2" x 2" STEEL DRIVEN 12"
TO 12" INTO GROUND



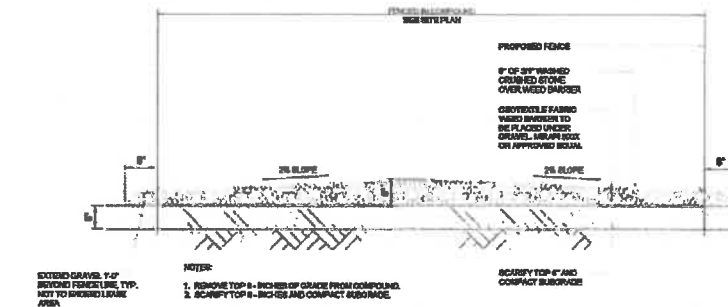
3 ANCHORING DETAIL
SCALE: N.T.S.



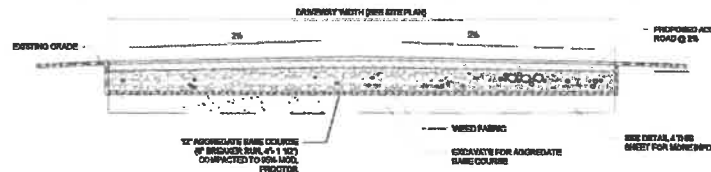
6 EMBEDDING DETAIL
SCALE: N.T.S.



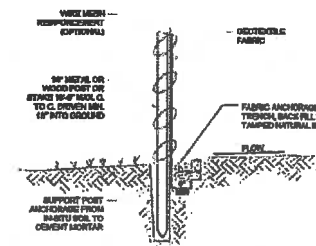
4 TYPICAL HMA PAVEMENT CROSS-SECTION
SCALE: N.T.S.



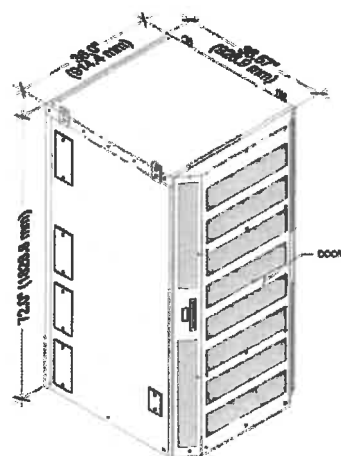
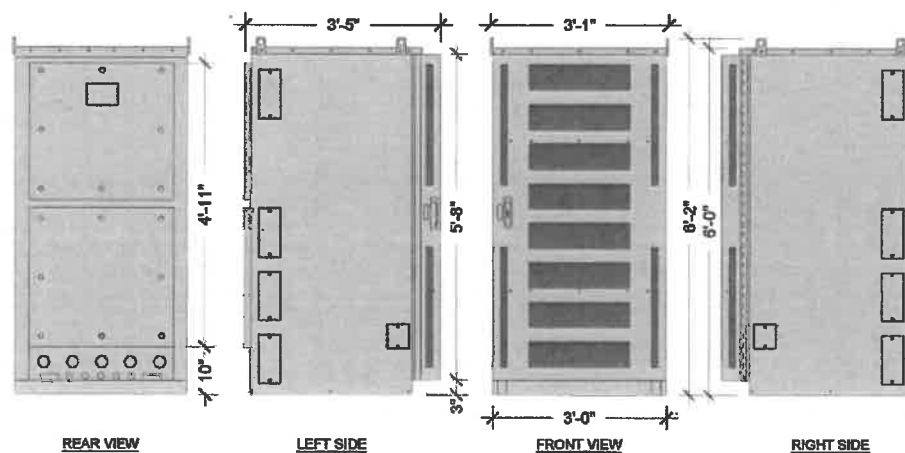
2 SITE COMPOUND GRAVEL DETAIL
SCALE: N.T.S.



5 BITUMINOUS DRIVEWAY SECTION
SCALE: N.T.S.



7 SILT FENCE DETAIL
SCALE: N.T.S.



1 COMMSCOPE RBA72-36 BATTERY CABINET
J.T.S.

SPECIFICATIONS

RBA72-36 CABINET (-48 V):

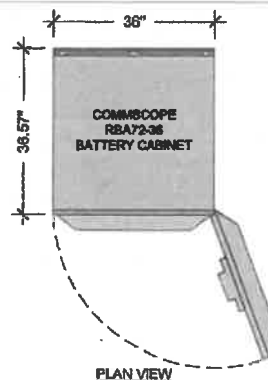
- MAXIMUM CHARGE CURRENT: -48 VDC $\pm 20\%$ @ 300 A MAX
- MAXIMUM DISCHARGE CURRENT: -48 VDC $\pm 20\%$ @ 480 A MAX

RBA72-36 CABINET (+24 V):

- MAXIMUM CHARGE CURRENT: +24 VDC $\pm 20\%$ @ 440 A MAX
- MAXIMUM DISCHARGE CURRENT: +24 VDC $\pm 20\%$ @ 550 A MAX

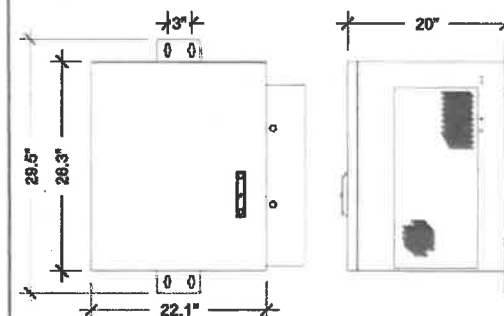
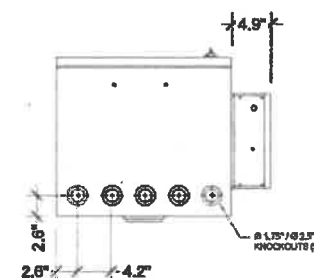
SHIPPING WEIGHT	EQUIPPED WITH BATTERIES
786 LBS (343 KG)	3,900 LBS (1,769 KG) - MAXIMUM

■ GFCI OUTLET REQUIRES A 120 VAC, 60HZ SINGLE-PHASE AC LOAD.



PLAN VIEW

OVERALL DIMENSIONS	28"H X 22"W X 20"D
RACK SPACE	14RU
RACK WIDTH	19" EIA STANDARD
HOLE SPACING ON RACKS	1" TAPPED 12-24
BONDING & GROUNDING	(1) 8 POSITION, 2-HOLE GROUND BARS
FUSE PANEL	(1) WALLMOUNT 10 POSITION GMT TYPE
CABLE ENTRANCE	(5) 1.75/2.5" DOUBLE KNOCKOUTS
COLOR	OFF-WHITE
CONSTRUCTION	WELDED ALUMINUM
WEIGHT (EMPTY)	80 LBS.
MOUNTING	WALL OR H-FRAME, POLE MOUNT WITH OPTIONAL KIT
THERMAL MANAGEMENT	17 W/F HEAT EXCHANGER, 24 VDC POWER



2 CUBE (RL 1003 SERIES)
J.T.S.

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

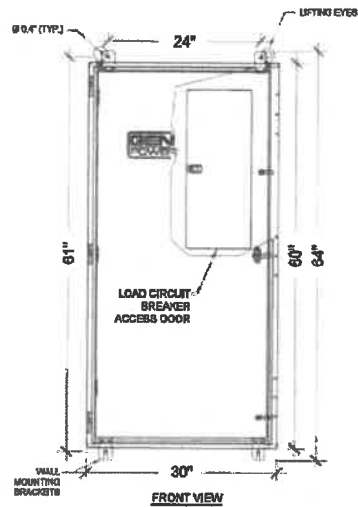
CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 2025-011- D.B.A.
CONCORDIA WIRELESS, INC.
351 RANDY ROAD
UNIT 101
OAKRIDGE, ILL. 60196
PHONE: (847) 991-0801

DRAWN BY: SS CHECKED BY: PB
CHECKED BY: RH APPROVED BY: GMS

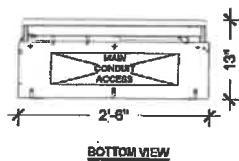
PROJECT # 20141009837
VZW LOCATION # 285821
STATE HWY 23 & FARVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
EQUIPMENT CABINET
SPECIFICATIONS

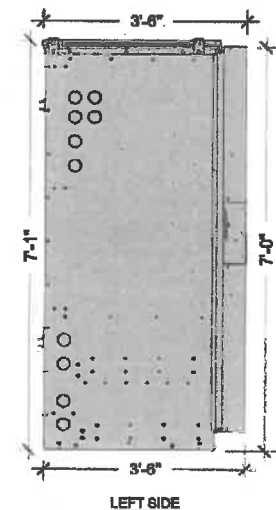
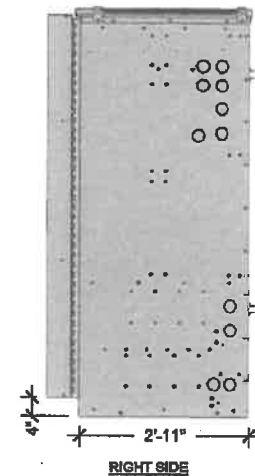
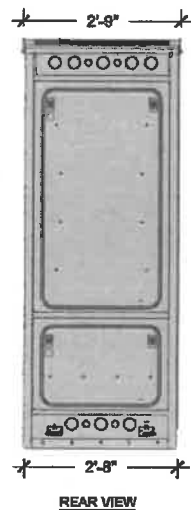
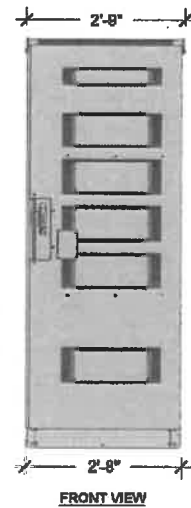
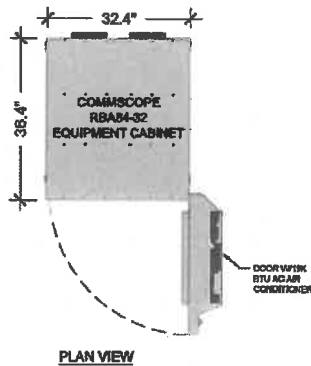
SHEET NUMBER:
A-6



ILC RATING (AMPS)	VOLTAGE	PHASE	ENCLOSURE HEIGHT	ENCLOSURE WIDTH	ENCLOSURE DEPTH	ENCLOSURE WEIGHT (LBS.)
200	120/240	1	60	30	10	350
200	120/208	3	60	30	10	350



1 INTEGRATED LOAD CENTER
/ N.T.S



2 COMMSCOPE RBA84-32 EQUIPMENT CABINET
/ N.T.S

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 1231-0111- D.B.A.
CONCORDIA WIRELESS, INC.
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60108
MADE: (707) 981-0821

DRAWN BY: BS CHECKED BY: PS
CHECKED BY: RB APPROVED BY: CMS

PROJECT # 20141008837
VZW LOCATION # 265821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

DWG# TITLE
**EQUIPMENT CABINET
SPECIFICATIONS**

DWG# NUMBER
A-8A

CONCORDIA, LTD
A PROFESSIONAL DESIGN FIRM
LICENSE # 2022-011 - C.D.A.

CONCORDIA WIRELESS, INC

381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MAIN: (847) 861-0800

DRAWN BY: MB	CHECKED BY: PB
CHECKED BY: RHF	APPROVED BY: GMS

TYP. AMERICAN
ARBOVITAE 6-8" HT=
TIME OF PLANTING

RUBBER HOSE GUY
WIRE

WRAP TREE STARTING @
THE BOTTOM WORKING UP
MUST BE TAPED IN @
LEAST (3) PLACES.

SAUCER AROUND TRUNK
BASE TO DIRECT WATER
TO TREE BALL

PLANT DETAIL

[illegible]

LANDSCAPING PLAN

સાલ: ૨૦૧૭-૧૮ (આઈ-૨૩) ૧૫૧૭ અંગ્રા. અંગ્રા.

NEW PLANT LIST						
YAO	BOTANICAL NAME (SCIENTIFIC NAME)	COMMON NAME	SEED	ROOT	TOTAL	
1	WALIA OCCIDENTALIS "TECHNY"	TECHNY AMBOKTAR	5	CONF.	15	

CONCRETE NOTES

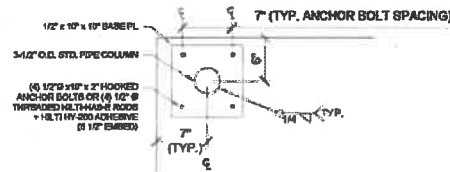
1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINMENT WITH 6% AIR CONTENT.
3. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A186.
4. CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW.

NOTE

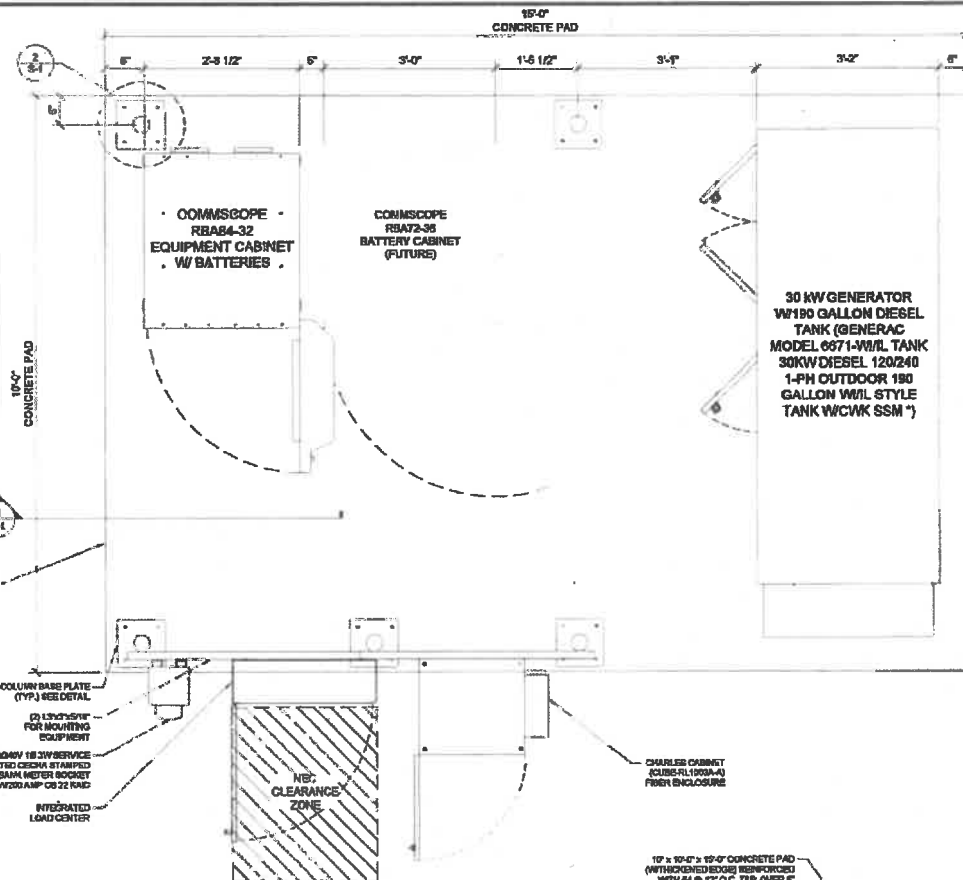
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED FINISH ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE OR GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND INCLUDED IN THE SOI REPORT. CONSTRUCTION, THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS SHALL BE MONITORED AND TESTED BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.

NOTE

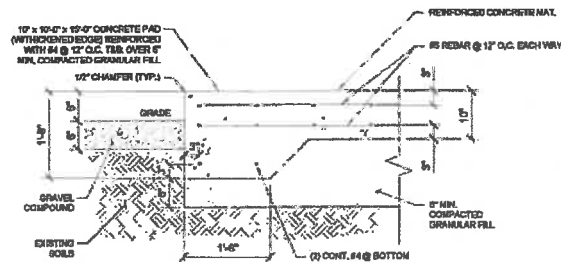
ANCHOR BOLTS TO BE INSTALLED AT TIME OF CANYON INSTALLATION BY THE CONTRACTOR. INSTALLED BASE PLATES PRE-INSTALLING THE ANCHOR BOLTS AT THE TIME OF FOUNDATION INSTALLATION MAY RESULT IN BOLT PATTERNS NOT MATCHING UP WITH BASE PLATE OF PLANT.



2 COLUMN BASE PLATE DETAILS
SCALE: 1" = 1'-0" (1" = 2'-0" IF 11 X 17 SHEET SIZE)



1 FLOOR PLAN
SCALE: 1" = 1'-0" (1" = 2'-0" IF 11 X 17 SHEET SIZE)



3 CONCRETE PAD SECTION VIEW
SCALE: 1" = 1'-0" (1" = 2'-0" IF 11 X 17 SHEET SIZE)

NOTE:
ITEMS ARE SUBJECT TO CHANGE DUE TO AVAILABILITY AND EQUAL SUBSTITUTES WILL BE USED. ELECTRICAL OR MECHANICAL REQUIREMENTS MAY CHANGE DUE TO MANUFACTURER'S SPECIFICATIONS.

CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

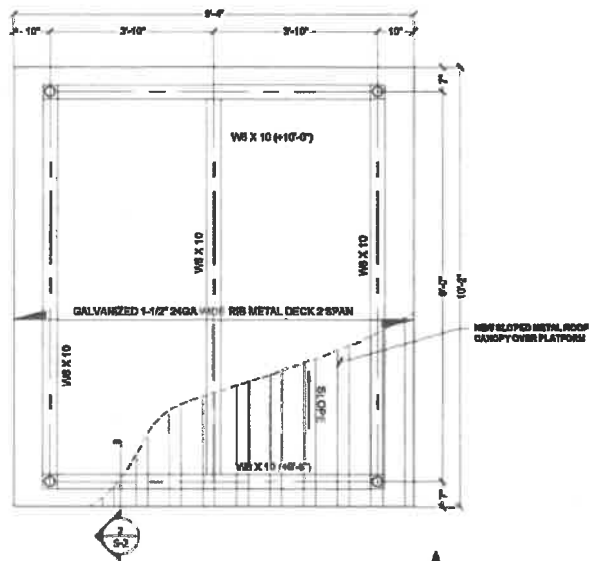
CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 0328-0115-D.S.A.
CONCORDIA WIRELESS, INC.
301 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60138
MAIL: (847) 864-0091

DRAWN BY: SS CHECKED BY: PB
CHECKED BY: RH APPROVED BY: GDS

PROJECT # 20141009837
VZW LOCATION # 288821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60116

SHEET TITLE:
**EQUIPMENT PAD
FLOOR PLAN**

SHEET NUMBER:
S-1



1 PLATFORM - ROOF FRAMING PLAN
SCALE: 3/4\"/>

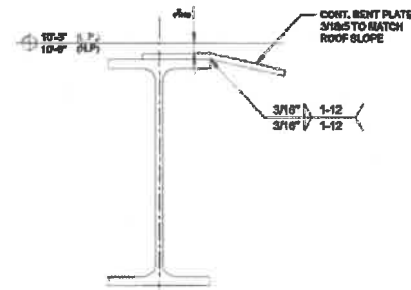


4 ICE BRIDGE TO CANOPY CONNECTION DETAIL
SCALE: N.T.S.

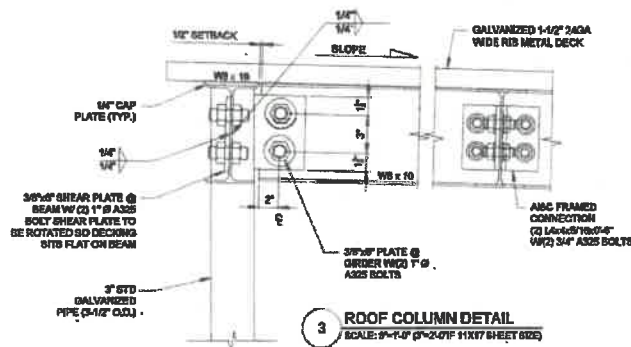


METAL DECK NOTES:

1. METAL ROOF DECK SHALL BE GALVANIZED, GALVANIZED SHEET STEEL SHALL CONFORM TO ASTM A443 GRADE A AND ASTM A523 WITH A MINIMUM 600 COATING UNLESS OTHERWISE NOTED.
2. METAL DECK SECTION PROPERTIES SHALL BE COMPUTED IN ACCORDANCE WITH AISI "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS". THE MINIMUM THICKNESS OF ROOF DECK SHALL BE 20 GAUGE.
3. FASTENING OF METAL DECK TO THE STRUCTURAL STEEL, THE FOLLOWING LIMITS SHALL NOT BE EXCEEDED.
A.) ALL METAL DECKING SHALL BE WELDED AT 12\"/>



2 ALTERNATE DETAIL INSTEAD OF ROTATING HIGH AND LOW W6x10 BEAMS
SCALE: 3/4\"/>

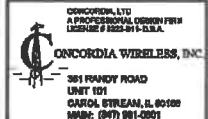


3 ROOF COLUMN DETAIL
SCALE: 3/4\"/>

GENERAL STEEL NOTES:

1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISI "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION, AND THE AISI "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
2. ALL STRUCTURAL STEEL W SHAPES SHALL CONFORM TO THE ASTM A572 OR A592 GRADE 50. ALL OTHER STRUCTURAL STEEL SHAPES, PLATES, AND BARS SHALL CONFORM TO ASTM A500 GRADE B. PIPES SHALL CONFORM TO ASTM A53 TYPE E OR S. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 AND BE COMPATIBLE WITH E70XX ELECTRODES.
3. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70X.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
5. IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
6. THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE.
7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.

**CHICAGO
SMSA**
limited partnership
d/b/a VERIZON WIRELESS

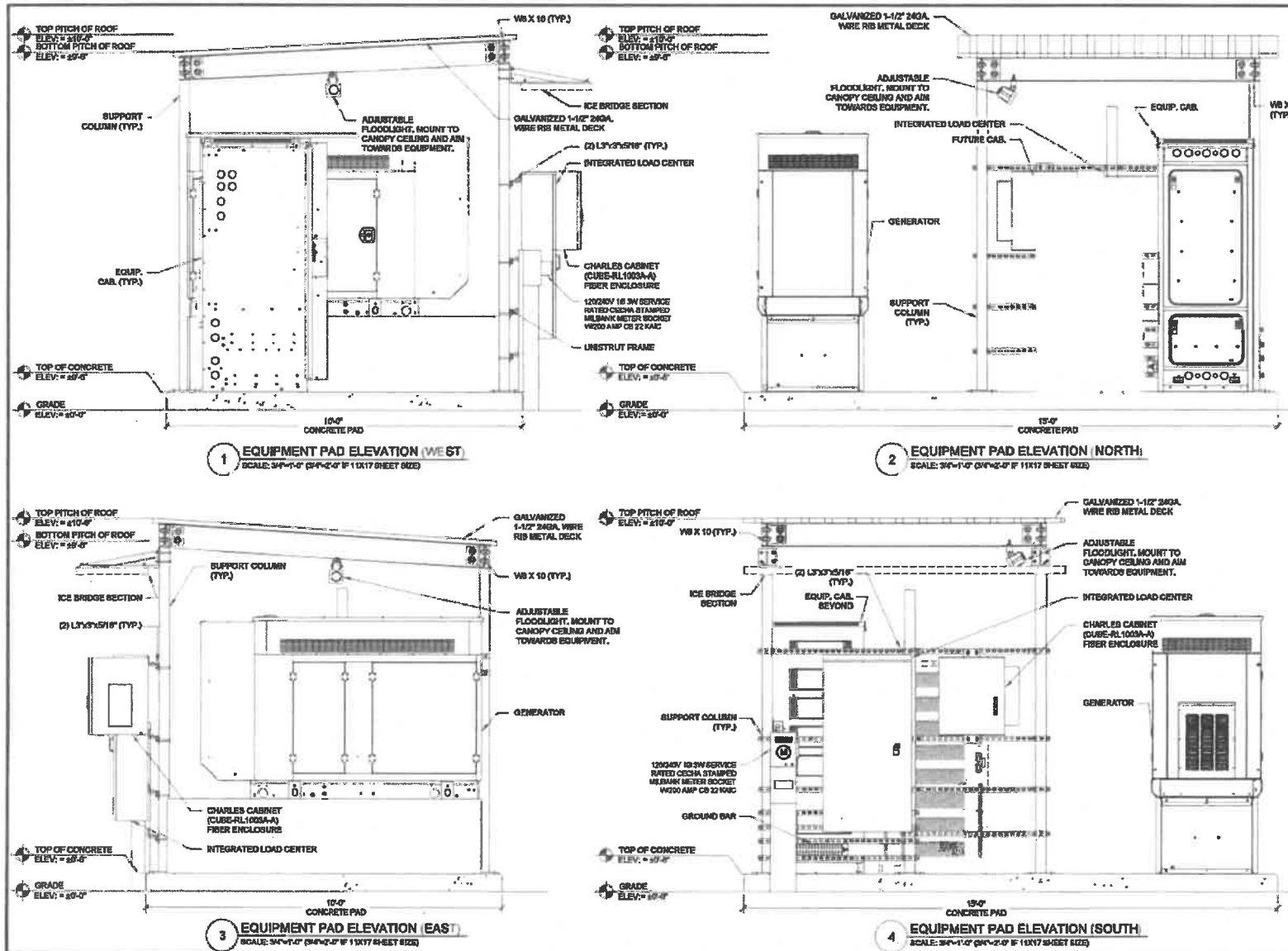


DRAWN BY: WS CHECKED BY: PS
CHECKED BY: RM APPROVED BY: CHS

PROJECT # 20141009037
VZW LOCATION # 255321
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60116

#SHEET TITLE
**EQUIPMENT PAD
ROOF FRAMING PLAN**

SHEET NUMBER:
S-2



CHICAGO SMSA
limited partnership
d/b/a VERIZON WIRELESS

CONCORDIA LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 2002-017-0000
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MARK: (647) 981-0801

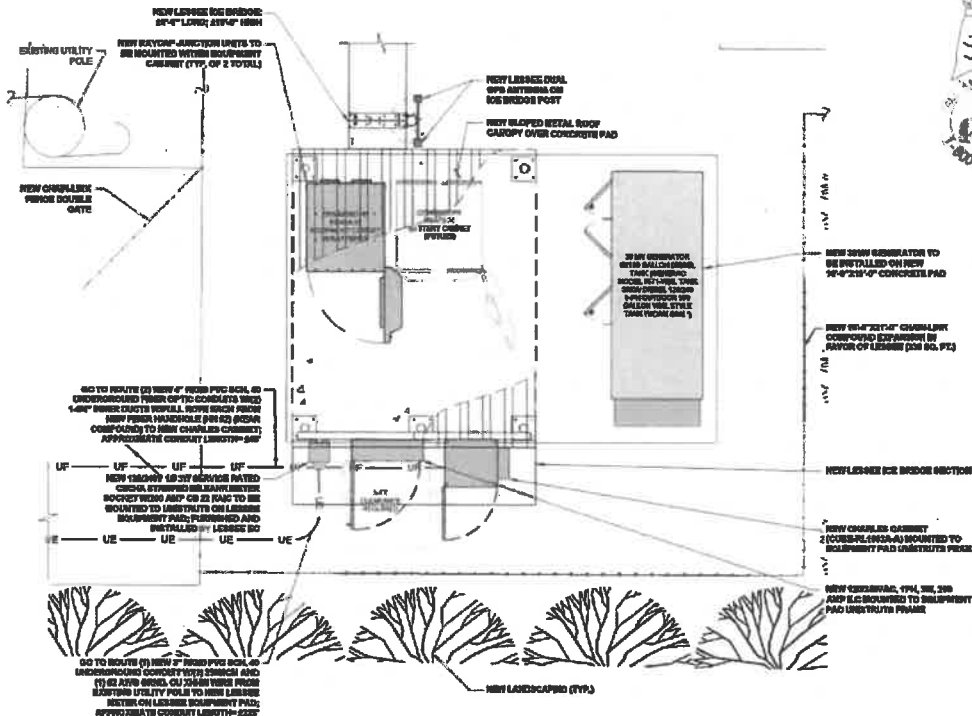
DRAWN BY: RS CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

PROJECT # 2014100637
VZW LOCATION # 225521
STATE HWY 23 & FAIRVIEW DRIVE
1800 SOUTH 7TH STREET
DEKALB, IL 60115

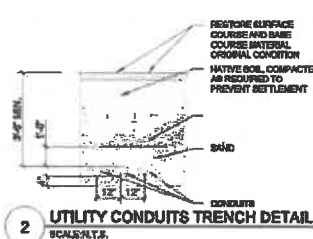
SHEET TITLE
**CONCRETE PAD
ELEVATIONS**

SHEET NUMBER
S-3

**ESTIMATED CONDUIT LENGTH
PER CABLE RUN**



1 ENLARGED UTILITY ROUTING PLAN
SCALE: 1/8\"/>



2 UTILITY CONDUITS TRENCH DETAIL
SCALE: N.T.S.



NOTES ON FIBER & POWER COORDINATION
ROUTING SHOWN IS BASED ON AVAILABLE INFORMATION. FIELD OBSERVATIONS OF EXISTING POLES & TRANSFORMERS, THERE PLANS MAY OR MAY NOT REFLECT AND/OR CONTAIN THE FINAL DETERMINED FOR POWER OR FIBER ROUTING. THE ELECTRICAL DESIGN IS SHOWN IN FOR FIBER ONLY AND IS NOT FOR CONSTRUCTION.
ADDITIONAL TRANSFORMERS MAY BE REQUIRED.
LOWER LEAD TIMES MAY BE POSSIBLE.
CONCORDIA IS NOT RESPONSIBLE FOR CODE COMPLIANCE OR COMPLIANCE WITH LOCAL, COUNTY, STATE AND/OR NATIONAL ELECTRICAL CODES.
THE USER RESTRICTIVE OF EACH CODE SHALL GOVERN AND BE APPLICABLE.
THE DESIGN SHOWN ON THESE PLANS IS SUBJECT TO VERIFICATION AND APPROVAL BY VENDOR VARIATIONS AND THE ELECTRICAL CONTRACTOR.
ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FINAL, RECORD & CODE COMPLIANCE & IS RESPONSIBLE FOR COORDINATING WITH VERIZON WIRELESS POWER COORDINATOR.
ELECTRICAL CONTRACTOR SHALL MARK THESE PLANS USING THE MOST CARE REQUIRED.

BROOM & CONSTRUCTION NOTE:
WEIRDS SHOWN ARE ESTIMATED MINIMUMS. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO VERIFY AND CONFIRM WITH THE APPLICABLE LOCAL ELECTRICAL AND BUILDING CODES IN ADDITION TO NEC-90.1 AND FOLLOW VENDOR'S SPECIFICATIONS. CONTRACTOR SHALL ESTIMATE PHASE CONDUCTION SIZE & UTILIZE THE APPROPRIATE WIRE SIZE AND TYPE BASED ON A VENTILATED CRIP. CONTRACTOR TO CONFIRM WITH LOCAL ELECTRICAL INSPECTOR PRIOR TO CONSTRUCTION. VERIFY NUMBER OF DISCONNECT PRIOR TO CONSTRUCTION START.

* GENERATOR MODEL SUBJECT TO CHANGES
PENDING VZW EQUIPMENT ENGINEERING DETERMINATION

SERVICE CONDUIT LENGTH (SINGLE RUN)	
ELECTRIC EXISTING UTILITY POLE TO NEW LEASE METER ON EQUIPMENT PAD	325' ±
FIBER OPTIC NEW FROM VEHICLE (PAD) NEAR PAD, TO NEW LEASE FROM VEHICLE (PAD) NEAR COMPOUND	225' ±
FIBER OPTIC NEW LEASE FROM VEHICLE (PAD) DOWN COMPOUND TO NEW CHARGES CABINET ON EQUIPMENT PAD	48' ±

NOTE:
* THE CONDUIT LENGTH SHOWN IN BASED ON THE DRAWING. THE EXACT LENGTH TO BE VERIFIED IN FIELD.
ELECTRICAL CONTRACTOR TO VERIFY LENGTHS AFTER COORDINATING W/VERIZON WIRELESS UTILITY COMPANIES.

NOTE:
GC IS REQUIRED TO INSTALL A 4-WAY RECEPTACLE INSTEAD OF THE 2-WAY RECEPTACLE PROVIDED WITH THE GENERATOR TO ACCOMMODATE THE REQUIRED COLD WEATHER KIT ON OUTDOOR GENERATORS.

NOTE:
ELECTRICAL CONTRACTOR TO PROTECT ALL UNDERGROUND UTILITIES DURING CONSTRUCTION

SYMBOLS LEGEND:

- E - ELECTRICAL CONDUIT
- UE - UNDERGROUND ELECTRICAL CONDUIT
- UF - UNDERGROUND FIBER OPTIC CONDUIT
- U/L - UNDERGROUND CABLE LINE
- LA - UNDERGROUND ALARM CONDUIT
- (M) - METER BASE
- (FDS) - FUSED DISCONNECT SWITCH
- (NUP) - NEW UTILITY POLE
- (EUP) - EXISTING UTILITY POLE

CHICAGO SMSA
limited partnership
dba VERIZON WIRELESS

CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 332-011-D-001
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60158
MARK (630) 581-0801

DRAWN BY: RS CHECKED BY: PS
CHECKED BY: RS1 APPROVED BY: CWS

PROJECT # 2014100837
VZW LOCATION # 235521
STATE HWY 23 & FAIRVIEW DRIVE
1800 SOUTH 7TH STREET
DEKALB, IL 60116

SHEET TITLE
ENLARGED UTILITY PLAN

SHEET NUMBER
E-1A

HIGH VOLTAGE STUD-UP
1. AC LOAD LEAD CONDUIT AREA.
2. 120/240 VAC FROM UTILITY FOR OPTIONAL
LOADS SUCH AS GFCI OUTLET, BLOCK HEATER,
BATTERY CHARGER, AND OTHER 120/240 VAC
OPTIONS. (ISLAND PLATES INCLUDED)

LOW VOLTAGE STUB UPS

- (LOW VOLTAGE STUD UP)
1. TRANSFER SWITCH/COMMUNICATION
CONDUITS, COMMUNICATIONS AND
3-WIRE START MUST NOT BE RUN IN
CONDUIT WITH WIRING
- (SEE NOTE #)

NOTE

- [illegible]

1. ALL REBAR (HORIZONTAL & VERTICAL) SHALL BE SECURELY WIRE TIED TO PREVENT DISPLACEMENT DURING POURING OF CONCRETE.
2. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2800 PSI.
3. REINFORCED CONCRETE CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ACI STANDARDS 318.
4. MINIMUM CONCRETE COVER OVER REBAR IS 1" & 2" FOR TOP AND BOTTOM REBAR.
5. REINFORCING MATERIAL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION A615-65.

1. EMBEDMENTS: PLUS OR MINUS 1/8".
2. CONCRETE DIMENSIONS: PLUS OR MINUS 1/4".
3. REINFORCING STEEL PLACEMENT: PLUS OR MINUS 1/4" INCLUDING CONCRETE COVER.

POSTER

1. FOUNDATION WAS DESIGNED BY ASSUMING ALLOWABLE SOIL BEARING CAPACITY OF 1000 PSF. IF SHALLOW GROUNDWATER IS 3 FT. WAS REPORTED, A FURTHER REVIEW OF THE DESIGN OR SPECIAL DESIGN MAY BE REQUIRED.
2. THE SOIL UNDERNEATH THE CONCRETE PAD MUST BE FREE OF ORGANIC MATTER OR OTHER DELETERIOUS SUBSTANCES, AND SHOULD BE COMPACTED AND LEVELLED BEFORE PLACING THE FOUNDATION. PAD SHALL BE INSTALLED LEVEL TO WITHIN $\pm .10'$.
3. CONCRETE SLUMPS: 1"-2".
4. CONCRETE VOLUMETRIC CURB VARIOS.

DEFINITION

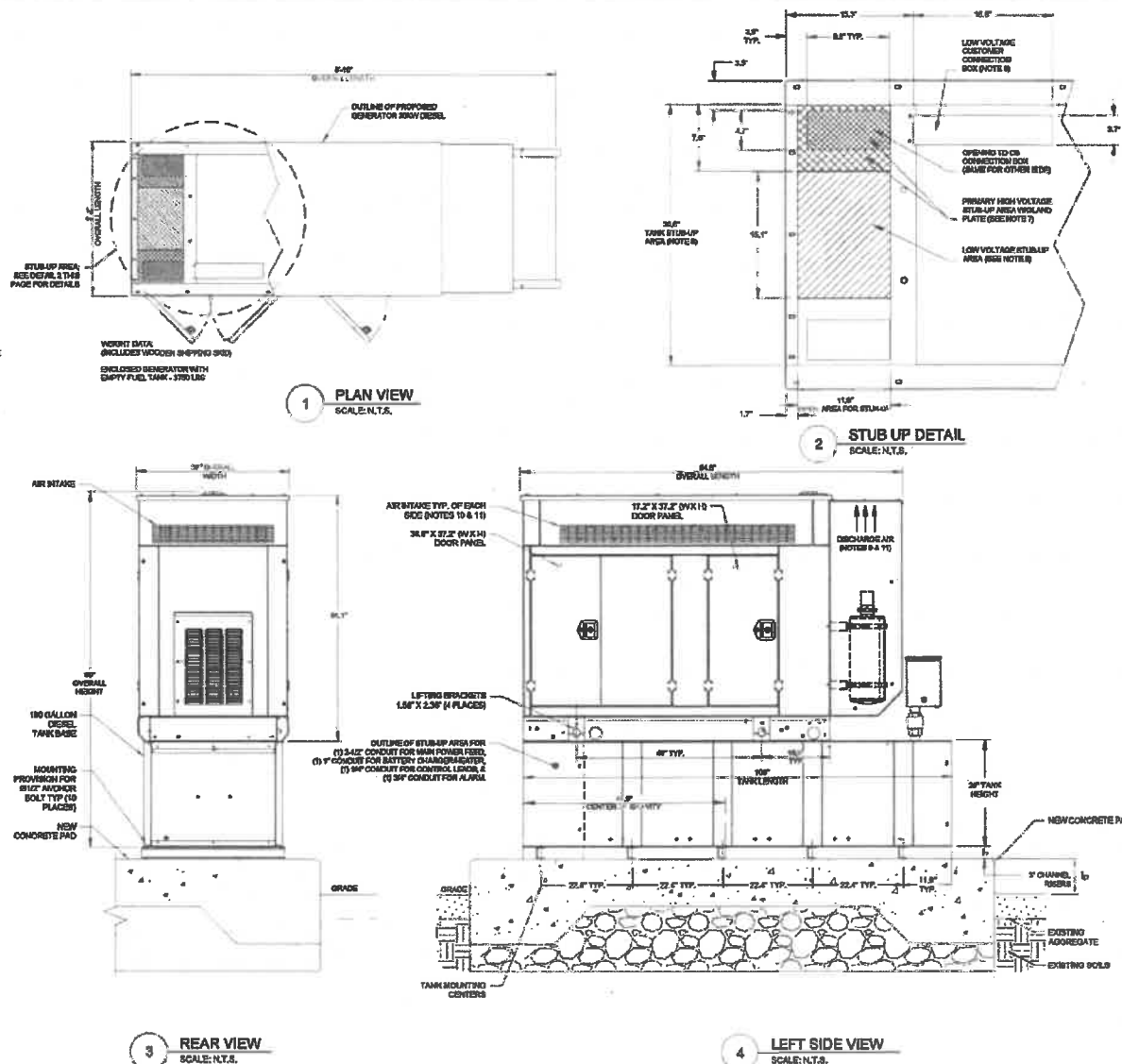
- DESIGN**
1. MAXIMUM DESIGN BASIC WIND SPEED (3-SECOND GUST):
80 MPH FOR GENERATOR MODEL 687-WMBL TANK 30KW
DIESEL 120KW 1-PH OUTDOOR 190 GALLON WMBL STYLE
TANK W/NOV GEL

GENERAC MODEL:

8671-WAL TANK 30KW DIESEL
120/240 1-PH OUTDOOR 160 GALLON
WAL STYLE TANK W/CMK 88M
SHOWN. SUBJECT TO CHANGE BY
LESSEE EQUIPMENT ENGINEERING

NOTES:

- GC IS REQUIRED TO INSTALL A 4-WAY RECEPTACLE INSTEAD OF THE 3-WAY RECEPTACLE PROVIDED WITH THE GENERATOR TO ACCOMMODATE THE REQUIRED COLD WEATHER KIT ON OUTDOOR GENERATORS.



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CONCORDIA WIRELESS, INC.

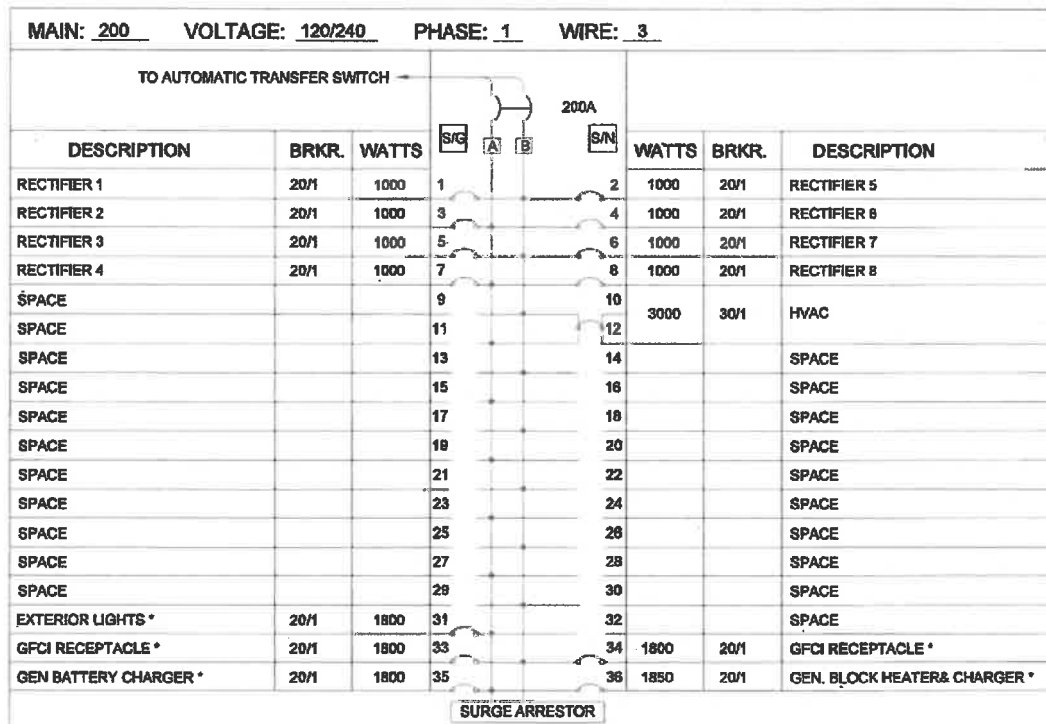
361 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60168
MADE: (847) 981-0801

DRAWN BY: SB	CHECKED BY: PS
CHECKED BY: RH	APPROVED BY: GMB

PROJECT # 20141009537
VZW LOCATION # 285821
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE
GENERATOR DETAILS

SHEET NUMBER:
E-3



NOTE:

1. LESSEE GC EQUIPMENT ENGINEERING TO SUPPLY BREAKER FOR RADIO & POWER CABINETS
2. GC TO SUPPLY BREAKERS NOTED WITH (*)
3. SURFACE MOUNTED NEMA 3R W/DOOR 22K AIC BREAKERS (CONTRACTOR SHALL VERIFY AIC RATINGS W/POWER PROVIDER)

1 ELECTRICAL SCHEMATIC
SCALE: N.T.S.

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361 RANDY ROAD
LIVET 001
CAROL STREAM, IL 60188
MARK: (847) 981-0801

DRAWN BY: SS CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

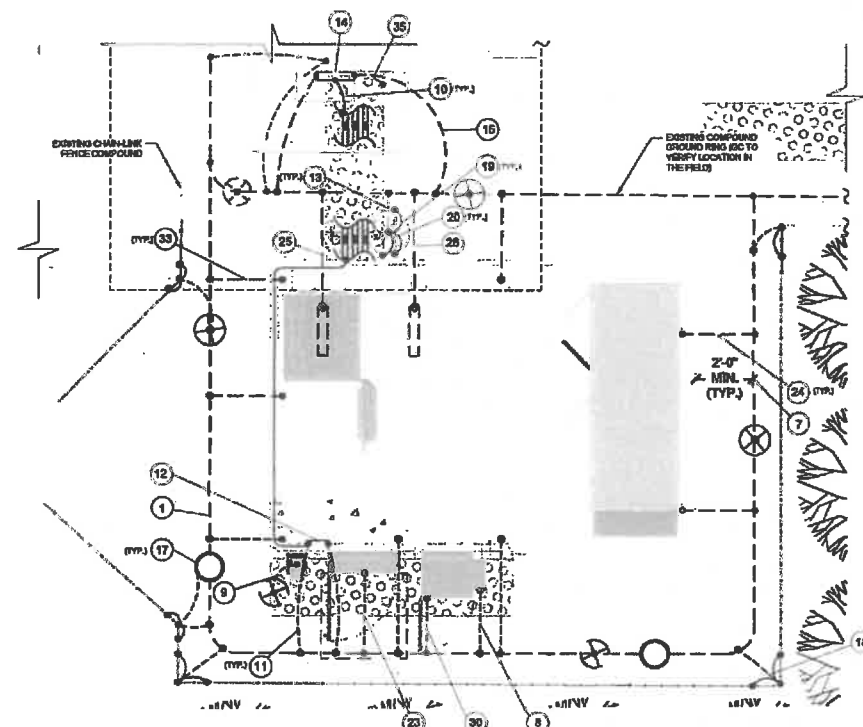
PROJECT # 2014102857
VZW LOCATION # 236521
STATE HWY 23 & FAIRVIEW DRIVE
1600 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
**ELECTRICAL
SCHEMATIC**

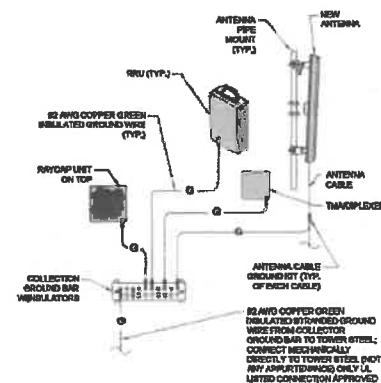
SHEET NUMBER:
E-4

KEY NOTES:

1. GROUND RING #2 SOLID, TINED BARE COPPER WIRE, CONSTRUCT FROM ONE CONTINUOUS PIECE
2. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM EQUIPMENT PLATFORM TO GROUND RING
3. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM EQUIPMENT ENCLOSURE HANG WITH MECHANICAL CLAMP
4. #6 AWG, GREEN STRANDED COPPER GROUND WIRE FROM RAYCAP UNIT TO GROUND RING (TYP.)
5. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM MOOD TO BUFFER W/ PIPE CLAMP GROUND
6. #2 SOLID, TINED COPPER GROUND WIRE FROM GROUND RING TO STEEL PLATFORM LADDER
7. MAINTAIN 2'-0" DISTANCE OFF OF STRUCTURES
8. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO CHARLES CURIE STREET POWER ENTRANCE
9. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND ROD TO METER SOCKET
10. ANTENNA CONTRACTOR TO GROUND COAXIAL ANTENNA CABLE TO GROUND BAR
11. BOTH MECHANICALLY WELD COPPER GROUND BAR TAIL TO EXTERIOR WELD GROUNDING TYPE T90 BY ANTENNA CONTRACTOR, FINAL CONNECTION BY ELECTRICAL CONTRACTOR
12. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
13. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
14. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
15. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
16. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
17. EXISTING SYSTEM TEST WELL (TYP. OF 2)
18. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM FENCE POST TO GROUND RING
19. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEWSPS ANTENNA PIPE TO ICEBRIDGE POST
20. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM ICE BRIDGE TO ICE BRIDGE POST
21. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO FRAME POST
22. #6 AWG, GREEN STRANDED COPPER GROUND WIRE FROM CONDUIT EXTERIOR TO CROCKY BUILDING
23. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM INTEGRATED LEAD CENTER (RIG) TO GROUND RING
24. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO GENERATOR (TYP. OF 2)
25. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEW COMSCOPE REMA-32 EQUIPMENT CABINET GROUND BAR TO GROUND RING
26. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEW COMSCOPE REMA-32 BATTERY CABINET GROUND BAR TO GROUND RING
27. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEW COMSCOPE REMA-32 RADIO CABINET GROUND BAR TO GROUND RING
28. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEW GROUND ROD TO 30 SHAW SWITCH
29. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEW ALARM BOX TO GROUND RING
30. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO NEMA TYPE SR TROUGH DUCT
31. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM NEW GROUND ROD TO TUBER JUNCTION BOX
32. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
33. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
34. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
35. #2 SOLID, TINED BARE COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR
36. #2 GREEN STRANDED INSULATED COPPER GROUND WIRE FROM ICE BRIDGE TO LOWER TOWER GROUND BAR



1 ENLARGED GROUNDING PLAN
SCALE: 1/2"=1'-0" (1/2"=2'-0" IF 11X17 SHEET SIZE)



2 GROUNDING DETAIL DIAGRAM
SCALE: NTS

SYMBOLS LEGEND:

- GROUND ROD
- GROUND ROD WITH ACCESS (TEST WELL)
- GROUND WIRE (BELOW GRADE)
- GROUND WIRE (ABOVE GRADE)
- SPARE GROUND WIRE FOR FUTURE CONNECTION (10 FT.)
- GROUND BAR
- ONFIELD OR LESSEE APPROVED CONNECTION

NOTE:
ALL TOP OF TOWER GROUNDING CONNECTIONS TO BE #2 AWG FOR LESSEE SPECIFICATIONS.

NOTE:
GROUND BARS AND CONTRACTOR TO INSTALL COPPER GROUND BARS ATTACHED TO CONDUIT AND WIRETRAIL. BARS SHALL BE CONNECTED TO GROUND RING WITH #2 AWG TINED COPPER LEADS. ALL EXPOSED GROUND LEADS SHALL BE ENCASED IN 1/2" TUBULAR GALV. TIGHT CONDUIT AND SEALED W/ SILICONE AT EACH END.

GROUNDING NOTES:

- GROUND RODS SHALL BE 3/4" X 10' FOOT COPPER CLAD NOT LESS THAN 10' FOOT OR MORE THAN 15' FOOT APART.
- ALL CONNECTIONS TO THE GROUND RING, AND PERIPHERAL EQUIPMENT SHALL BE MADE VIA CADWELD PROCESS UNLESS OTHERWISE SPECIFIED.
- ALL WIRING USED IN THE GROUND RING SHALL BE #2 SOLID TINED COPPER UNLESS OTHERWISE SPECIFIED.
- NOTE: CONTRACTOR SHALL REVIEW SOIL RESISTIVITY REPORT FOR SPECIFIC GROUNDING SYSTEM RECOMMENDATIONS (SEE AT GROUND REQUIREMENTS).
1. COPPER CLAD GROUND ROD AS SPECIFIED ABOVE.
2. FENCE GROUNDING AT ALL CORNER POSTS (GROUND LEAD CONNECTION FROM GROUND RING TO FENCE POST AT CORNER CONNECTION TO BE NO MORE THAN 12 INCHES ABOVE GROUND BUT MUST BE VISIBLE).
3. ATTACH TO EXISTING GROUND RING IN FOUR DIFFERENT PLACES SEPARATE EACH CONNECTION BY 7'
4. CONNECTIONS FOR POWER CABLE AND WTB - PROVIDE 1 LEAD FOR EACH CABLE NOT LESS THAN 4 FEET AND NOT MORE THAN 5 FEET LONGER TO BE COILED - FOR USE AND FUTURE USE.
5. SPARE LEADS TO GROUND RING FOR FUTURE CABINETS, NOT LESS THAN 4 FEET AND NOT MORE THAN 5 FEET LONG - COILED NEAR FUTURE SET POSITION.
6. #2 AWG INSULATED STRANDED GROUND WIRE FROM MONOPOLE BOTTOM GROUND BAR TO DEMONSTRATED SECTOR GROUND BAR AT TOP OF MONOPOLE.
7. FOR WOOD FENCE APPLICATIONS NO GATE OR CORNER POST GROUND ARE REQUIRED.

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381 RANDY ROAD
UNIT 101
CHICAGO, ILLINOIS 60616
MAINS (947) 961-0801

DRAWN BY: RS
CHECKED BY: SH
APPROVED BY: GMS

PROJECT # 20141008037
VZ/W LOCATION # 285821
STATE HWY 22 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60116

SHEET TITLE
GROUNDING PLAN

SHEET NUMBER
G-1



EXISTING SITE ACCESS DRIVE LOCATION
(LOOKING EAST)



PROPOSED SITE ACCESS DRIVE LOCATION
(LOOKING SOUTHEAST)



PROPOSED LOCATION FOR COMPOUND EXPANSION & EQUIPMENT SLAB
(LOOKING EAST)



PROPOSED LOCATION FOR COMPOUND EXPANSION & EQUIPMENT SLAB
(LOOKING NORTH)



PROPOSED LOCATION FOR UTILITY EASEMENT
(LOOKING NORTHWEST)



EXISTING UTILITY POLE (ALONG R.O.W.) TO BE UTILIZED AS POWER SOURCE
- PENDING POWER COORDINATION
(LOOKING SOUTHWEST)



EXISTING CABLE TRAY
(LOOKING SOUTHEAST)



OVERALL EXISTING TOWER
(LOOKING SOUTH)



PROPOSED ANTENNA PLATFORM LOCATION
(LOOKING SOUTHWEST)

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CONCORDIA WIRELESS, INC.
383 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MARK: (630) 961-0801

DRAWN BY: GS CHECKED BY: PS
CHECKED BY: SM APPROVED BY: GMB

PROJECT # 2014100837
VZW LOCATION # 285821
STATE HWY 29 & FAIRMEN DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
SITE PHOTO LOG

SHEET NUMBER:
PL-1

**Attachment A
NOTICE TO CONTRACTOR – ENVIRONMENTAL CONDITIONS/RESTRICTIONS AT
(State Hwy 23 & Fairview Drive) ILMI**

Note: Verizon Wireless makes no representation or warranty as to the accuracy or completeness of the information below. Company is fully responsible for its own compliance with all applicable laws and regulations. To the extent that Company becomes aware of any additional environmental conditions, it agrees to immediately inform Verizon Wireless.

The Company's response to this construction bid shall constitute the Company's acknowledgement and acceptance of the stated conditions and restrictions at the site.

The following environmental conditions have been identified at the project site:

Environmental Condition Check All That Apply	Description and Location of Contaminant																														
<input checked="" type="checkbox"/> Presence of Suspect Lead Contaminated soil	<p>The Total Lead content in a soil sample taken from the proposed lease area was 31 mg/kg below the Minnka background concentration of 38 mg/kg for metropolitan areas and EPA preliminary remediation goal of 400 mg/kg. A copy of the soil analytical result is attached below.</p> <p align="center">ANALYTICAL RESULTS</p> <table><tr><td>File Specimen:</td><td>10-06-2017</td></tr><tr><td>Date Report:</td><td>10-06-2017</td></tr><tr><td>Client:</td><td>Tritel Corporation</td></tr><tr><td>Mark Number:</td><td>1748013, Section 5</td></tr><tr><td>Project:</td><td>47007 Hwy 23 & Fairview Drive</td></tr></table> <table><tr><th>Element</th><th>Method</th><th>Sample ID</th><th>Units</th><th>Lead</th><th>Soil</th><th>mg/kg</th><th>Guideline</th><th>Sample Location</th><th>Depth (ft)</th></tr><tr><td>Lead</td><td>1748013-001</td><td>10-06-2017</td><td>mg/kg</td><td>31</td><td>mg/kg</td><td>31</td><td>400</td><td>10-06-2017</td><td>0-10</td></tr></table>	File Specimen:	10-06-2017	Date Report:	10-06-2017	Client:	Tritel Corporation	Mark Number:	1748013, Section 5	Project:	47007 Hwy 23 & Fairview Drive	Element	Method	Sample ID	Units	Lead	Soil	mg/kg	Guideline	Sample Location	Depth (ft)	Lead	1748013-001	10-06-2017	mg/kg	31	mg/kg	31	400	10-06-2017	0-10
File Specimen:	10-06-2017																														
Date Report:	10-06-2017																														
Client:	Tritel Corporation																														
Mark Number:	1748013, Section 5																														
Project:	47007 Hwy 23 & Fairview Drive																														
Element	Method	Sample ID	Units	Lead	Soil	mg/kg	Guideline	Sample Location	Depth (ft)																						
Lead	1748013-001	10-06-2017	mg/kg	31	mg/kg	31	400	10-06-2017	0-10																						
<input type="checkbox"/> Contaminated groundwater <input type="checkbox"/> Presence of asbestos																															
<input checked="" type="checkbox"/> Presence of Lead-Based Paint	<p>Lead-based paint (LBP) in the form of the red paint on the tower (6.2% by weight).</p> <p align="center">ANALYTICAL RESULTS</p> <table><tr><td>File Specimen:</td><td>10-06-2017</td></tr><tr><td>Date Report:</td><td>10-06-2017</td></tr><tr><td>Client:</td><td>Tritel Corporation</td></tr><tr><td>Mark Number:</td><td>1748013, Section 5</td></tr><tr><td>Project:</td><td>47007 Hwy 23 & Fairview Drive</td></tr></table> <table><tr><th>Element</th><th>Method</th><th>Sample ID</th><th>Units</th><th>Lead</th><th>Soil</th><th>mg/kg</th><th>Guideline</th><th>Sample Location</th><th>Depth (ft)</th></tr><tr><td>Lead</td><td>1748013-001</td><td>10-06-2017</td><td>mg/kg</td><td>6.2</td><td>mg/kg</td><td>6.2</td><td>400</td><td>10-06-2017</td><td>0-10</td></tr></table>	File Specimen:	10-06-2017	Date Report:	10-06-2017	Client:	Tritel Corporation	Mark Number:	1748013, Section 5	Project:	47007 Hwy 23 & Fairview Drive	Element	Method	Sample ID	Units	Lead	Soil	mg/kg	Guideline	Sample Location	Depth (ft)	Lead	1748013-001	10-06-2017	mg/kg	6.2	mg/kg	6.2	400	10-06-2017	0-10
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Element	Method	Sample ID	Units	Lead	Soil	mg/kg	Guideline	Sample Location	Depth (ft)																						
Lead	1748013-001	10-06-2017	mg/kg	6.2	mg/kg	6.2	400	10-06-2017	0-10																						
<input checked="" type="checkbox"/> Other																															
Mapped Wetland	<p>According to the NWI Map, a Palustrine Emergent Temporarily Flooded Wetland is located approximately 250 feet southeast and upgradient of the tower compound. An aerial map depicting the tower compound and the wetland is attached.</p>																														
Aboveground Storage Tank	<p>A 2,000-gallon diesel aboveground storage tank (AST) associated with a backup engine is located approximately 100 feet northwest and downgradient of the tower compound on the parent parcel. An aerial map depicting the tower compound and the AST is attached.</p>																														



Applicable legal requirements or Verizon Wireless policies and procedures may require that these conditions be communicated to all parties involved in the construction activities at the project site. To the extent that the scope of the project work includes measures to address these conditions, details of the work to be performed shall be as specified in the project documents and/or the Authorization Letter.

Environmental conditions affecting scope of work:
(see project documents for detailed specifications)

Technical Recommendations:

Lead-Based Paint (LBP): The red paint on the tower is LBP.

- Contractors/personnel are advised to take appropriate precautions.
- The LBP must be abated from Verizon Wireless' (VZW's) proposed disturbance area by an appropriately licensed lead abatement contractor under environmental oversight (i.e., prior to the commencement of invasive work in the affected area(s)).
- Environmental oversight, performed by VZW's environmental consultant (Tritel Corporation), will be required during the abatement activities to ensure removal of the LBP, disposal of the LBP and that the related manifests and other documentation are finalized properly. (The contact for Tritel Corporation is Joe Ouburne at JoeOuburne@tritel.com or 630-227-0202).

Mapped Wetland:

- To mitigate the risk of impact to the wetland, construction related staging and/or stockpiling of excavated materials on the parent tract may not occur anywhere southeast of the tower compound.
- Appropriate soil erosion and sediment controls and best practices for storm water management must be implemented during construction activities sufficient to mitigate the risk of impact to the wetland.

Aboveground Storage Tank (AST):

- It is not anticipated that on-site soils are contaminated. However, contractors/personnel are advised of the potential environmental risks associated with AST are advised to take appropriate precautions. Should any evidence of contaminated soil (discoloration, unusual or petroleum odors, etc.) be encountered during excavation activity at the site, work must cease and Verizon Wireless' construction management and Area Environmental Compliance teams must be contacted immediately.

Company is required to comply fully with all applicable environmental, industrial hygiene, and worker health and safety laws and regulations; Verizon Wireless' directions and/or instructions contained in this Notice To Contractors. Company shall retain qualified, appropriately specialized (and/or licensed, as

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LICENSED IN ILLINOIS
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 101
CAROL STREAM, IL 60188
MARK (647) 951-0801

DRAWN BY: BB CHECKED BY: PG
CHECKED BY: RFA APPROVED BY: GMS

PROJECT # 20141009637
VZW LOCATION # 285621
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE
NOTICE TO CONTRACTORS

SHEET NUMBER
NTC-1

required) and adequately insured environmental firms for the completion of specialized work as applicable. Company shall evaluate whether a Health and Safety Plan (HASP) is warranted. Verizon Wireless shall have the final authority to approve the selection of such environmental firms performing services on its behalf. The construction bid package shall include qualifications of proposed firms with respect to the following required services:

Environmental Services Required	
Check All That Apply	
<input type="checkbox"/>	Asbestos abatement
<input checked="" type="checkbox"/>	Lead based paint abatement LBP in the form of fire red paint on the tower (environmental oversight required)
<input checked="" type="checkbox"/>	Hazardous or special waste transportation and disposal LBP waste.
<input type="checkbox"/>	Excavation, drilling or advancement through and staging/stockpiling of contaminated media.
<input checked="" type="checkbox"/>	Other: Implement appropriate soil erosion and sediment control measures and best practices for storm water management during construction activities to mitigate risk of impact to the wetland.

Company shall ensure at all times that only appropriately trained, qualified, and licensed workers perform the required environmental services. It is the responsibility of Company to adhere to the following restrictions in response to the above environmental conditions:

An outside environmental "oversight" consultant is required if transportation and disposal of waste is carried out in accordance with applicable laws, regulations and the Verizon Wireless Environmental Compliance Program. THE USE OF SUCH CONSULTANT IS MANDATORY.

Site Restrictions	
Check All That Apply	
<input checked="" type="checkbox"/>	Restrictions on excavations/construction methods. Description: Construction related staging and/or stockpiling of excavated materials may not occur on the parent tract to the southwest of the tower connected.
<input type="checkbox"/>	Diesel fuel prohibited at construction site except in fuel tank of vehicle
<input type="checkbox"/>	Gasoline prohibited at construction site except in fuel tank of vehicle
<input type="checkbox"/>	Other:

Contractor's Signature: _____

Print Name: _____

Witness: _____

Site Name: State Hwy 23 & Fairview Drive

Site Address: 1500 South 7th Street

City: DeKalb State: Illinois

NOTE: This signed original is to be returned to Area Compliance along with the PES Closeout Report.

Attachment B

VERIZON WIRELESS Post-Construction
Environmental Evaluation Summary Close-Out Notification

CONFIDENTIAL AND PROPRIETARY INFORMATION FOR VERIZON WIRELESS INTERNAL USE ONLY

POST-CONSTRUCTION FOLLOW-UP BY CONSTRUCTION MANAGER:

SUMMARY TYPE: AES (BWS) ☐ ☒ ☐ ☐ (Diesel Restriction - Propane or Natural Gas only)

SITE NAME/IDENTIFIER: State Hwy 23 & Fairview Drive

SITE LOCATION ADDRESS: 1500 South 7th Street, DeKalb, IL 60115

WASTE GENERATED	
Category I:	No Waste Explain:
Category II:	Waste generated

ON-GOING OPERATIONAL REQUIREMENTS/LIMITATIONS	
Describe in detail:	
Yes ___ No ___	Communicated to Network Operations Director (name) _____ on (date) _____

CLOSE-OUT PACKAGE CHECKLIST (Required if Category II: Waste generated)	
Check all that apply	
Originals/Receipts	<input checked="" type="checkbox"/> Signatures of authorized representative at facility <input checked="" type="checkbox"/> Abatement Contractor's name and address <input checked="" type="checkbox"/> Generator name and address and address of facility (if not) <input checked="" type="checkbox"/> Description of materials removed and quantity <input checked="" type="checkbox"/> Signature of supervisor at abatement contractor <input checked="" type="checkbox"/> Transporter name, address, phone number, vehicle number, and State of registration <input checked="" type="checkbox"/> Driver's signature <input checked="" type="checkbox"/> Name and address of disposal facility <input type="checkbox"/> COPSA Personnel Sample Results (Asbestos, BP air sampling) <input type="checkbox"/> Only Work Log (Superfund Log) <input type="checkbox"/> Work Site Sign-in Log <input type="checkbox"/> Worker Information (Abatement LBP) (Protein Name, Training Certs, Medical Clearance, Urine test) <input type="checkbox"/> Respirometer Fit Test <input type="checkbox"/> Notification Permit (State/City notification permit) <input type="checkbox"/> Confirmation/Approval Work Completed Free of All Claims, Liens, and Charges <input type="checkbox"/> Insurance Certificate, indicating job by name, location, and date of agreement

I hereby acknowledge that I have reviewed and approved the close-out package from the oversight consultant following the Verizon Wireless post-construction PES close-out checklist.

Signature: _____ Date: _____

Print Name: _____

Return Completed and Signed Report to Area Compliance

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dba VERIZON WIRELESS

CONCORDIA, LTD.
A PROFESSIONAL DESIGN FIRM
LICENSE # 000-001-000-000
CONCORDIA WIRELESS, INC.
381 RANDY ROAD
UNIT 001
CAROL SPRING, IL 60188
PHONE: (312) 981-0801

DRAWN BY: SB CHECKED BY: PS
CHECKED BY: RH APPROVED BY: GMS

PROJECT # 20141008637
VZW LOCATION # 28521
STATE HWY 23 & FAIRVIEW DRIVE
1500 SOUTH 7TH STREET
DEKALB, IL 60115

SHEET TITLE:
NOTICE TO CONTRACTORS

SHEET NUMBER:
NTC-2



2020002158

DOUGLAS J. JOHNSON
RECORDER - DEKALB COUNTY, IL

RECORDED: 3/11/2020 11:06 AM
REC FEE: 75.00

STATE OF ILLINOIS)
COUNTY OF DEKALB) SS
CITY OF DEKALB)

PAGES: 42

POOR ORIGINAL OR CONTAINS COLORED INK
RECORDER NOT RESPONSIBLE
FOR REPRODUCTION

CERTIFICATION

I, **RUTH A. SCOTT**, am the duly qualified and appointed Executive Assistant of the City of DeKalb, DeKalb County, Illinois, as authorized by Local Ordinance 2019-059, and as such Executive Assistant, I maintain and am safe-keeper of the records and files of the Mayor and City Council of said City.

I do hereby certify that the attached hereto is a true and correct copy of:

ORDINANCE 2020-012

**APPROVING A SPECIAL USE PERMIT FOR THE CO-LOCATION OF
CELL ANTENNAS AND ASSOCIATED EQUIPMENT AT 1500 S. 7TH
STREET, DEKALB, ILLINOIS (VERIZON WIRELESS).**

PASSED BY THE CITY COUNCIL of the City of DeKalb, Illinois, on the 24th day of February 2020.

WITNESS my hand and the official seal of said City this 10th day of March 2020.



RUTH A. SCOTT, Executive Assistant

Prepared by and return to:

City of DeKalb
City Manager's Office
Attention: Ruth A. Scott
200 S. Fourth Street
DeKalb, Illinois 60115



2/18/20

Mr. Dan Olson, Principal Planner
City of DeKalb
200 South Fourth Street
DeKalb, IL 60115

RE: 1500 S 7th Street - Two Readings

Mr. Olson,

I am requesting the first and second reading at the next City Council Meeting.

Our application was recommended unanimously by the Planning Commission for favorable action by the Council, which noted collocation on existing towers is preferred method over new structures in the City of DeKalb.

Verizon Wireless looks forward to providing better cell service to the City of DeKalb. Thank you for your consideration.

Sincerely,

Doug Dolan

Douglas K. Dolan, President

**COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT
January 31, 2020**

TO: DeKalb Planning and Zoning Commission

FROM: Dan Olson, Principal Planner

RE: Special Use Permit for Co-Location of Cell Antennas on AT&T Tower located at 1500 S. 7th St. (Verizon)

I. GENERAL INFORMATION

- | | | |
|----|---------------------------------|---|
| A. | Purpose | Approval of a special use permit for co-location of cell antennas and associated equipment for Verizon on existing AT&T tower. |
| B. | Location/Size | 1500 S. 7 th St./5.8 acres |
| C. | Petitioner | Dolan Realty Advisors, represented by Margie Oliver |
| D. | Existing Zoning | “LI” Light Industrial District |
| E. | Existing Land Use | AT&T Communication Tower |
| F. | Proposed Land Use | AT&T Communication Tower with Co-Location of Verizon antennas and associated equipment |
| G. | Surrounding Zoning and Land Use | North: LI; various commercial uses
South: LI; commercial, park
East: PDI; RR, vacant
West: SFR2; single-family residential |
| H. | Comprehensive Plan Designation | Light Industrial |

II. BACKGROUND AND ANALYSIS

The applicant, Dolan Realty Advisors on behalf of Verizon Wireless, is requesting approval of a special use permit in order to install cell antennas on the existing 300 foot tall AT&T lattice tower located at 1500 S. 7th St. There will be a total of six (6) antennas placed at 125 feet up the approximately 300-foot-tall tower. Associated ground equipment is also proposed in a 21.5-foot x 16.5-foot lessee area with a new 10-foot x 15-foot building pad. The proposed lease area will be located just south of the existing tower. The existing 20-foot-wide access drive to S. 7th St. that AT&T uses will be maintained and slightly extended to the new Verizon lease area. Verizon will establish access and utility easements over the drive and other areas to allow for the right to access the property and to extend the necessary utilities to their equipment. The new ground equipment will include cabinets, a generator, and ice bridge and will be surrounded by a seven (7) foot high chain link fence, which will include a one-foot high braided barbed wire on top of the fence. Landscape plantings around the fence are also proposed meeting the requirements in the UDO. Six (6) foot high Techny Arborvitae plants are planned around the west, south and eastern portions of the lease area just outside the fence. The applicant has provided supporting information regarding the 11 conditions for a special use for cell antennas as described in Article 7.08.08 of the UDO.

Verizon has been looking to locate cell antennas in this area since 2014 to better service their customers in the southern portion of DeKalb. A previous applicant had applied on behalf of Verizon for a special use permit in 2014 to construct a 140-foot cell tower on the property to the north at 1300 S. 7th St. The petition was eventually withdrawn by the applicant in May, 2015 because the application was incomplete and did not fully investigate the opportunity to co-locate on the adjacent AT&T tower. There was also opposition from neighboring residents.

In July, 2015, Verizon Wireless submitted a special use permit application to co-locate antennas on the AT&T tower and was subsequently approved by the City Council on September 28, 2015. The applicant received a permit in February, 2016 to construct the antennas and supporting equipment, however no work was conducted on the project after issuance of the permit. In 2017, Central States Tower II, LLC acting on behalf of Verizon submitted a petition for approval of a special use permit to construct a 140-foot-tall cellular communications tower on the property to the north located at 1300 S. 7th St. The petition was denied by the City Council after opposition by neighboring residents. At that time, Central States Tower indicated Verizon did not go forward with the construction of the antennas on the AT&T Tower because of the costs AT&T was charging to Verizon to install the necessary equipment.

The project has been on hold for over two years due to AT&T costs being well above what Verizon was willing to pay. The previous design, per AT&T's direction, was too expensive for Verizon so the project was put on hold until Verizon could re-design the project and resubmit to AT&T for approval. The current applicant notes that Verizon and AT&T have worked together to reduce the costs of the proposed co-location. The existing four large horn antennas on top of the AT&T Tower will be removed as part of the work as they are no longer needed by AT&T. This will also reduce



the modification cost to install the needed equipment on the tower. Verizon will be installing less weighted equipment and proposing the installation of a new concrete pad instead of cutting the existing foundation and replacing asphalt, which is more expensive. Verizon expanded the lease area to accommodate the new equipment and to make sure all clearances were met. In addition, Verizon contractors will be doing the installation and upgrade work instead of AT&T employees, which also reduced the cost of the project.

III. STANDARDS OF A SPECIAL USE

1. The proposed special use complies with all provisions of the applicable district regulations.

The proposed cell antennas will comply with all regulations of the "LI" Light Industrial District and the UDO. The only point of visual interest, as defined by the UDO, in the vicinity of the subject property is McCormick Park, which is located to the south. The proposed co-locating on the existing AT&T Tower will have minimal impact on the profile of the existing structure. The antennas will not extend beyond the height of the existing tower. The applicant will be meeting the conditions for a special use for cell antennas per the UDO standards, Article 7.08.08.

2. The proposed special use will not be unreasonably detrimental to the value of other property in the neighborhood in which it is to be located or to the public welfare at large.

The proposed special use will not have a detrimental effect on the adjacent properties or land uses. Co-location of the antennas on the existing structure, as opposed to erecting a new communications tower, minimizes the potential impact on the neighborhood. The site has been zoned "LI" Light Industrial for decades and is in proximity to a variety of commercial uses. The proposed supporting equipment on the ground will be approximately 275 feet from the nearest residential zoned property and will be fenced and screened by landscaping.

3. The location and size of the special use, the nature and intensity of the operation involved in or conducted in connection with it, and the location of the site with respect to streets giving access to it are such that the special use will not dominate the immediate neighborhood so as to prevent development and use of neighboring property in accordance with the applicable zoning district regulations.

The special use will not dominate the immediate area and will not prevent development on the neighboring properties. The surrounding area is already developed with a variety of commercial uses and single-family residential homes to the west.

4. Adequate utility, drainage and other such necessary facilities have been or will be provided.

Adequate utility services will be provided to the subject site for the construction and operation of



the proposed special use. Verizon Wireless will have field technicians on site at least one a month for routine maintenance.

5. The proposed use, where such developments and uses are deemed consistent with good planning practice, or can be operated in a manner that is not detrimental to the permitted developments and uses in the district; can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area; shall in all other respects conform to the applicable regulations of the district in which it is located; and is deemed essential or desirable to preserve and promote the public health, safety and general welfare of the City of DeKalb.

The proposed special use will not be detrimental to the permitted developments and uses on the site or to the surrounding area. The proposed antennas will be located on an existing communications tower thus avoiding the construction of a new tower. The enhanced service to Verizon customers will be beneficial to the surrounding area and community. The additional service will also reduce the incidence of dropped calls, poor reception, and slow data service.

IV. CITIZEN RESPONSE/COMMENTS

An e-mail was received from Katie and David Poole of 630 Karen Ave. indicating their support of the project. In addition, we also received an e-mail from Scott Cole of Cole Pallet Services (1600 S. 7th St.) mentioning they have no objection to the special use request. Both e-mail correspondence are in the Commission's packet.

V. RECOMMENDATION

Sample Motion:

Based upon the submitted petition and testimony presented, I move that the Planning and Zoning Commission forward its findings of fact and recommend to the City Council approval of a special use permit for a cellular antennas on the AT&T Tower located at 1500 S. 7th St. per the plans dated 12-10-19 and attached as Exhibit A and subject to any staff comments being addressed prior to issuance of a building permit.



1500 S. 7th St -Subject Site Map







January 7, 2020

City of DeKalb Planning and Development
Dan Olson
Principal Planner
200 South Fourth Street
DeKalb, IL 60115

RE: Special Use Permit Petition: Section E – Proposed Use and Description
VZW Site ID: State Hwy 23 and Fairview Drive
Site Address: 1500 S. 7th Street, DeKalb, IL 60115

Dear Dan Olson:

In order to maintain its commitment to the highest standards of network service, Verizon Wireless aspires to co-locate on a proposed 300' self-support telecommunications tower.

The tower is located in a light industrial zone at 1500 S. 7th Street DeKalb, IL 60115. The facility will function 24-hours a day in a self-sustaining manner. Under normal operating conditions, Verizon Wireless will have field technicians on site once a month or less for routine maintenance.

Multiple studies were previously conducted that demonstrate that telecommunications towers do not have an adverse effect on nearby property values. This project will improve coverage and capacity for Verizon Wireless customers in the region. It will reduce the incidence of dropped calls, poor reception, and sluggish data service.

We believe our plans are adequate to resubmit for the special use application. AT&T has approved Verizon Wireless to remove the horns from the tower which should reduce the modification cost to install equipment on the tower. Verizon Wireless is ready to move forward with the construction for this site.

If you have any questions, feel free to contact me at 314-963-7706.

Sincerely,


Margie Oliver
Project Manager



January 16, 2020

City of DeKalb
Planning Department
200 South Fourth Street
DeKalb, IL 60115

RE: Statement of Use - State Hwy 23 and Fairview Drive
Site Address: 1500 7th St. South, Dekalb, IL

Dear Planning Commission and Board Members;

7.08.08 Application for a Special Use Permit for Antenna Facilities

In addition to the requirements of Article 14 "Permits," the applicant shall be required to submit information that includes, but is not necessarily limited to, how the proposed special use will satisfy the following conditions:

Points of Visual Interest Shall be Protected and Methods for Protecting Points of Visual Interest:

- The only point of visual interest, as defined by the UDO, in the vicinity of the subject property is McCormick Park. The park is located to the south. The proposed antennas collocating onto the existing tower will have minimal impact on the profile of the existing structure. The antenna will not extend beyond the height or the width of the existing tower.
- AT&T approved Verizon Wireless to remove the horns from the existing tower. This is will be sufficient to the modifications needed on the tower. Updated drawings are submitted for review.
- Co-location of the antennas on the existing structure, as opposed to erecting a new communications tower, minimizes the potential impact on McCormick Park. The co-location of the antennas on the existing tower is preferred over the creation of a new communications tower in the area.

Color:

- Proposed equipment installation (antennas, wiring and all related facilities and appurtenances) will be neutral in color or to be painted with like colors of the tower in a neutral light gray color. The structure and attached equipment are as visually unobtrusive as possible, unless otherwise specified under Federal Aviation Administration (FAA) regulations. The materials provided by The proposed development and Special Use if granted, will not create any undue destruction of site features of significant importance.

Height:

- The UDO stipulates that for purposes of co-locating an antenna on an existing tower structure, the antennas may be permitted provided it is no greater than 22 feet taller than the existing structure. The proposed antenna would not extend higher than the existing structure, which complies with this criterion.

Setbacks (Adjacent to Residential Uses):

- Does not apply, as the proposed antennas will be co-located on an existing structure. The shelter is located more than 200' away from 7th Street which would comply with LI zoning district setback requirements.

Lighting: None allowed except as required by the Federal Aviation Administration (FAA).

- Does not apply, as the proposed antennas will be co-located on an existing structure. The shelter is located more than 200' away from 7th Street which would comply with LI zoning district requirements.

Fencing and Security: For security, antennas or towers and ancillary facilities shall be enclosed by a fence not less than six (6) feet in height.

- Verizon Wireless has proposed to encircle the leased area to include the antenna, building, ice bridge and other appurtenances, with a six-foot chain link fence and a one foot braided barbwire section on top to match the existing fence on the AT&T property. It should be noted that the barbed wire atop the fence should face towards the interior of the property to be consistent with code. One possibility the applicant should consider to deter possible vandalism or theft is a sight-proof fence of at least six feet in height constructed of wood, vinyl, or in materials compatible with the adjacent building is strongly recommended.

Landscaping and Screening:

- Landscaping shall be placed outside the required fence area on sides facing public rights-of-way or residential areas and shall consist of fast growing vegetation with a 7-14 minimum planted height of four feet, spaced evenly at intervals equal to twice the expected width of the plant material. Building or tower mounted antenna and related facilities and appurtenances shall be screened by an appropriate material which either: a) matches the building to which it is mounted (in the case of building-mounted structures); or, b) provides an alternate façade that screens the appearance of the facilities and provides a positive appearance/benefit to the public.
- Verizon Wireless proposes new landscaping with a proposed new asphalt access driveway included in the drawings. Proposed landscaping expands to the west and the south side of the proposed leasable area with plantings along the 27' south fence line and also planted in a north-south orientation for the first 15 feet of the west line of the proposed driveway extension to block the views from the south and west.

Noise:

- Noise generating equipment shall be sound buffered by means of baffling, barriers, or other suitable means to reduce sound level measured at the property line to 30dBA when adjacent to residential areas and 45dBA in other areas.
- Does not apply, as the proposed antennas will be co-located on an existing structure. The shelter is located more than 200' away from 7th Street which would comply with LI zoning district requirements.

Tower Design:

- Towers shall generally be designed without the use of guy wires or external supports. In instances where such a requirement may not be feasible, appropriate documentation shall be provided by the petitioner, demonstrating why such a tower is not feasible. The applicant will offer alternatives to the design so as to minimize the visual impact of the tower.
- Verizon Wireless site plan does not indicate any guy wires or supplementary supports are required to maintain the proposed tower's structural integrity. The proposed antennas are to be mounted directly onto the tower's support legs.
- AT&T approved Verizon Wireless to remove the four (4) very heavy horns from the existing tower. They are installing lesser weighted, equipment and proposing the installation of a new concrete pad instead of cutting the foundation and replacing asphalt. VzW expand lease area to accommodate the new equipment and to make sure all clearances were met.
- AT&T employees are doing less work. Verizon Wireless is using their own contractors to complete the work.

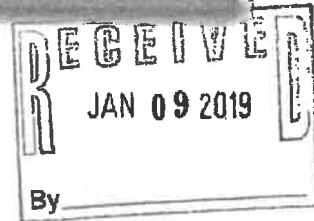
Co-location Protocol: Any special use request for the erection of a new tower shall complete the co-location protocol as outlined in Article 7.08.09.

- Much time and effort was given with AT&T and Verizon Wireless communicating the details needed to complete this site. AT&T has approved Verizon Wireless to move forward removing the horns from the existing tower, using VzW's architectural, structural and construction engineers to complete this site.
- It is our understanding that this submittal request is in fact a co-location and this criterion has been successfully met.
- This project has been on hold due to AT&T costs were well above the norm; six (6) figures. Our previous design, per AT&T, caused extreme expense. So, VzW place the site on hold to redesign and resubmit to AT&T for approval.

Margie Oliver
Project Manager

343 S. Kirkwood Road #5, Box# 220130, Kirkwood, MO 63122
Ph: 314-963-7706 | Em: moliver@dolanrealtyadvisors.com

(VZW STATE HWY 23 + FAZVIEW)



SPECIAL USE PERMIT PETITION

TO: City Council, City Clerk, and Mayor of the City of DeKalb, Illinois

FROM: Petitioner Name(s): Verizon Wireless Phone: 314-963-7706

Petitioner's Representative: Dolan Realty Advisors, LLC Email: moliver@dolanrealtyadvisors.com

Mailing Address: _____

343 S. Kirkwood Rd. #5, Box 220130,

Kirkwood, MO 63122

Property Owner: AT&T

Phone: (C) 708-369-3825

Mailing Address: _____

Email: JC459b@ATT.com

2300 Northlake Ctr Dr, Ste. 405, Office Number 4W-01, TUCKER, GA

1. The petitioner hereby petitions the City of DeKalb to approve a Special Use Permit for the following property:

A. Legal Description and Parcel Number (s) – If necessary, attach the full legal description on a separate piece of paper:

ALL THAT PARCEL OF LAND IN DE KALB COUNTY, STATE OF ILLINOIS, AS MORE FULLY DESCRIBED IN DEED DOC # 84-00101, ID# 08-26-328-002, BEING KNOWN AND DESIGNATED AS FOLLOWS:

LOT 2 OF FIRST ADDITION TO C. BRADT INDUSTRIAL SUBDIVISION AS PER THE PLAT THEREOF RECORDED AUGUST 9, 1961 IN THE RECORDER'S OFFICE OF DEKALB COUNTY, ILLINOIS IN BOOK "L" OF PLATS, PAGE 64, AS DOCUMENT NO. 306513, SITUATED IN DEKALB COUNTY, ILLINOIS.

B. Street Address or Common Location: 1500 South 7th Street, DeKalb, IL 60115

C. Size of Property (square feet or acres): Proposed Lessee Area 354.75 sq.ft.

D. Existing Zoning: Light Industrial

E. Proposed Special Use: Colocation on Existing AT&T SST

F. ☒ Proposed Use and Description: On a separate document, describe the proposed use's characteristics. Also, indicate whether or not the proposed use would: a) Prevent development and use of neighboring property; b) impact adjacent existing and future land uses; c) impact adjacent property values; d) impact the general public's health, safety, and welfare; and e) be in conformance with all elements of the "UDO," Unified Development Ordinance - VZW to Collocate onto AT&T TAGOD#6 SST @ 125 C/
and propose concrete pad with roof canopy & Diesel Generator.
(See letter)

2. The petitioner hereby submits the following information:

- ☒ Vicinity map of the area proposed for the special use
- ☒ Petition fee (\$500.00)
- ☒ 3 full size copies and an electronic copy on a disk of a site plan, which must show the following items (per the requirements of Article 14.03.03 of the UDO):
 - ☒ Property dimensions
 - ☒ Location and use of proposed structures
 - ☒ Number and location of parking spaces and loading area
 - ☒ Location and type of landscaping (including existing trees 6" in diameter or greater and existing tree masses
 - ☒ Location, type, and height of fencing or walls
 - ☒ Location and width of driveways and curb cuts; internal traffic patterns
 - ☐ Floor area (square footage)
 - ☐ Location of exterior lighting
 - ☐ Location, type, and height of signage
 - ☐ Direction of storm water flow, location of detention area

(Note to Petitioner: A site plan for a special use permit is intended to be a schematic plan only. All plans must eventually conform to other City standards prior to the issuance of any building permits or other permits.)

3. The petitioner hereby states that a pre-application conference ☒ was ☐ was not held with City staff prior to the submittal of this petition.

(Via Email & Phone) - Dan Olson 12/12/2019

*Date of pre-application conference: Passed Ordinance 2015-038 September 28, 2015 *expired.*

Those in attendance: Passed Council 7-0-1

(Note to Petitioner: A pre-application conference with staff is highly encouraged to avoid delays and help in the timely processing of this petition.)

4. The petitioner hereby agrees that this petition will be placed on the Planning and Zoning Commission's agenda only if it is completed in full and submitted in advance of established deadlines.

5. The petitioner has read and completed all of the above information and affirms that it is true and correct.

[Signature]
Petitioner Signature *& Authorized Agent*

1/7/2020
Date

I hereby affirm that I am the legal owner (or authorized agent or representative of the owner – proof attached) of the subject property and authorize the petitioner to pursue this Special Use Permit petition as described above (petitioner must sign if they are the owner).

N/A
Property Owner Signature

Date

LEGAL NOTICE

NOTICE is hereby given that a public hearing will be held before the DeKalb Planning and Zoning Commission at its regular meeting on Wednesday, February 5, 2020, at 6:00 p.m. in the DeKalb Municipal Building, 200 South Fourth Street, DeKalb, Illinois, on the petition by Verizon Wireless, represented by Dolan Realty Advisors LLC, for a special use permit for Verizon Wireless to co-locate an antenna onto the existing AT&T tower located at 1500 S. 7th St. and construct associated equipment. The subject site has a Parcel Identification Number (PIN) of 08-26-326-002 and is zoned "LI" Light Industrial.

All interested persons are invited to appear and be heard at the time and place listed above. Interested persons are also encouraged to submit written comments on the proposal to the City of DeKalb, Community Development Department, 200 South Fourth Street, DeKalb, Illinois, 60115 by 5:00 p.m. on Wednesday, January 29, 2020. Further information regarding the petition is available from the Community Development Department at (815) 748-2361 or on the City of DeKalb's web page at <https://www.cityofdekalb.com/1103/Public-Hearings>.

Max Maxwell, Chairperson
DeKalb Planning and Zoning Commission

From: [Poole](#)
To: [Olson, Dan](#)
Subject: Verizon Antenna
Date: Tuesday, January 21, 2020 6:19:31 PM

[NOTICE: This message originated outside of the City Of DeKalb mail system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello,

I received a letter in the mail about Verizon wanting to add an antenna to the existing at&t tower. I just wanted you to know I support this project. This tower does not effect me or my family and we probably live the closest than anyone else that got this letter. I also won't see it. Anyway...what could be worse than the awful red at&t tower that's there now? :)

Katie and David Poole
630 Karen Avenue

Regards,
Katie Poole

Sent from my iPhone

From: [Scott Cole](#)
To: [Olson, Dan](#)
Cc: ["Brett Cole"; "john.cole"](#)
Subject: RE: 1500 S. 7th St. Antenna
Date: Wednesday, January 29, 2020 10:28:46 AM
Attachments: image001.png

[**NOTICE:** This message originated outside of the City Of DeKalb mail system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Dan,

Thank you. We will review the plans. I don't see much problem with it if they're just adding additional antennas to the existing tower.

Scott Cole

Production Manager

Cole Pallet Services Corp.

1600 S. 7th Street , Dekalb, IL 60115

Office: (815) 758-3226

Cell: (630) 918-3014

Fax : (815) 758-2687

From: Olson, Dan [mailto:Dan.Olson@CITYOFDEKALB.com]
Sent: Monday, January 27, 2020 1:19 PM
To: Scott Cole <scott@colepallet.com>
Cc: 'Brett Cole' <brett@colepallet.com>; john.cole <john.cole@colepallet.com>
Subject: RE: 1500 S. 7th St. Antenna

Scott,

Thanks for your e-mail. I have provided a link below to our webpage that has supporting documents including the plans for the co-location. The antennas for Verizon will be placed about half way up the existing tower (see Sheet A-2).

<https://www.cityofdekalb.com/DocumentCenter/View/10685/1500-S-7th-St---Supporting-Docs---Webpage>

If you have any further questions, let me know. I can provide copies of the plans for you to pick up here at City Hall if you wish.

Dan Olson | Principal Planner

City of DeKalb | 200 South Fourth Street | DeKalb, IL 60115

Phone: 815-748-2361

Email: dan.olson@cityofdekalb.com | Website: www.cityofdekalb.com



From: Scott Cole <scott@colepallet.com>
Sent: Monday, January 27, 2020 12:10 PM
To: Olson, Dan <Dan.Olson@CITYOFDEKALB.com>
Cc: 'Brett Cole' <brett@colepallet.com>; john.cole <john.cole@colepallet.com>
Subject: 1500 S. 7th St. Antenna

[NOTICE: This message originated outside of the City Of DeKalb mail system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dan,

I received notice in the mail today for the proposed new Verizon Tower.

In General, I support the proposal but would like to know more about the appearance of the tower and other equipment.

Scott Cole

Production Manager
Cole Pallet Services Corp.
1600 S. 7th Street , Dekalb, IL 60115
Office: (815) 758-3226
Cell: (630) 918-3014
Fax : (815) 758-2687

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